

SITE PLAN APPLICATION

PROPOSED IMPROVEMENTS FOR THE TOWN OF WESTPORT

BALDWIN PARKING LOT IMPROVEMENTS

35 ELM STREET

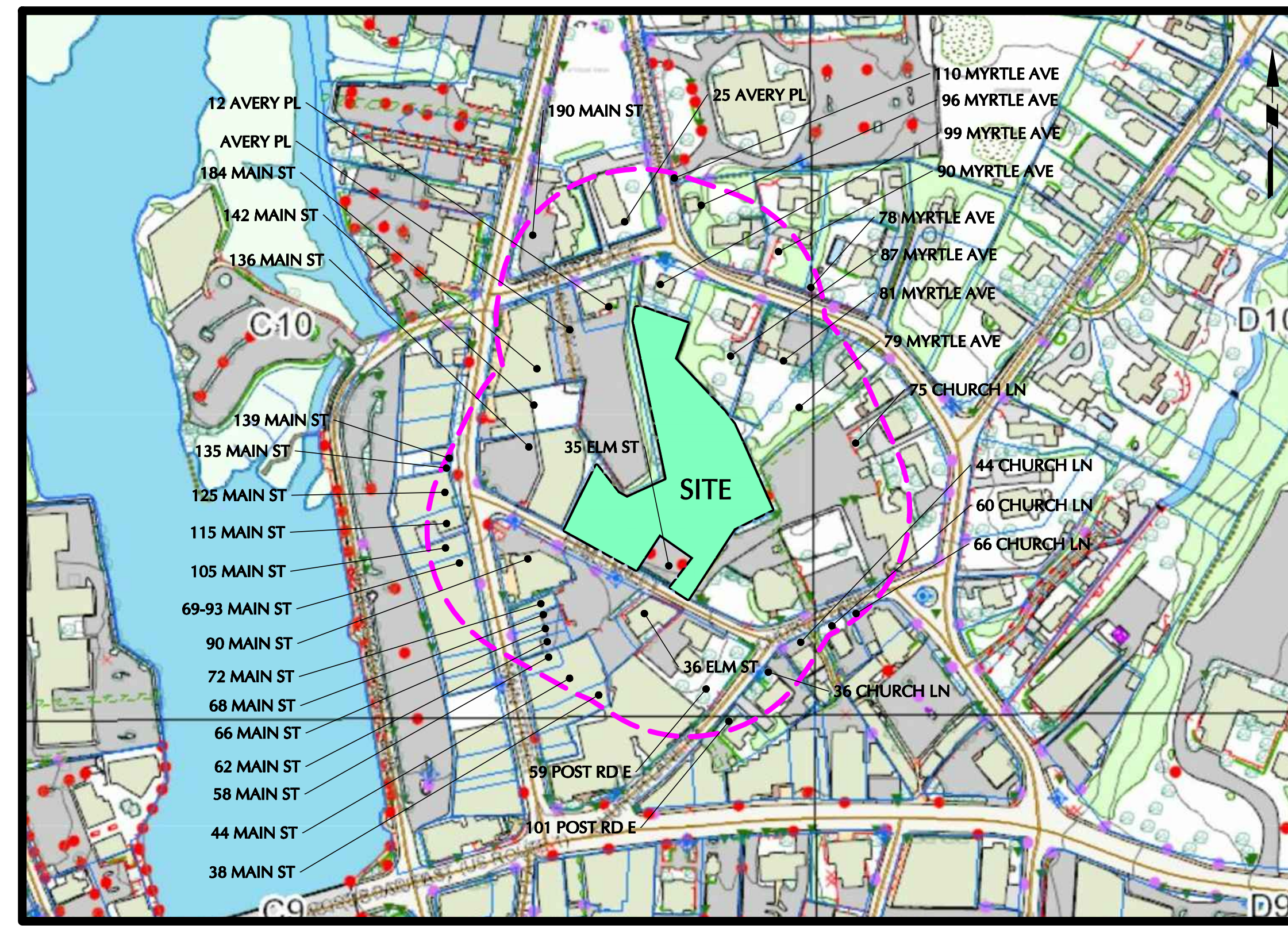
TOWN OF WESTPORT, FAIRFIELD COUNTY, CONNECTICUT

PROJECT No. 140204001

CIVIL DRAWING INDEX

ABUTTING PROPERTY OWNERS

ADDRESS	OWNER	OWNER'S ADDRESS	ADDRESS	OWNER	OWNER'S ADDRESS
105 MAIN ST	ESRT 103-107 MAIN ST LLC	1 GRAND CENTRAL PLACE, NEW YORK NY 10165	44 MAIN ST	WESTPORT MAIN ST RETAIL LLC	276 POST RD W SUITE 201, WESTPORT, CT 06880
79 MYRTLE AVE	NICKY V LLC	25 OLD MILL RD, WESTPORT CT 06880	75 CHURCH LN	CHRIST & HOLY TRINITY CHURCH	75 CHURCH LN, WESTPORT, CT 06880
184 MAIN ST	HULBERT THOMAS FEST	3903 BELLAIRE BLVD, HOUSTON TX 77025	66 MAIN ST	PARILLO FAMILY THE LTD PARTNERSHIP LP	4 HUNT CLUB LN, WESTPORT, CT 06880
96 MYRTLE AVE	DAURIA MATTHEW AND CALABRETTA MICHELLE	96 MYRTLE AVE, WESTPORT CT 06880	AVERY PL	HULBERT THOMAS F EST OF	3903 BELLAIRE BLVD, HOUSTON, TX 77025
90 MYRTLE AVE	ENGLEHART JOHN N & PAGE N	90 MYRTLE AVE, WESTPORT CT 06880	44 CHURCH LN	BW CHURCH EAST LLC	28 CHURCH LN 2ND FL, WESTPORT, CT 06880
69-93 MAIN ST	ESRT 69-97 MAIN ST LLC	1 GRAND CENTRAL PLACE, NEW YORK NY 10165	90 MAIN ST	ZATCOFF GERALDINE	59 MAIN ST UNIT 5, WESTPORT, CT 06880
135 MAIN ST	F D H GROUP	153 DUDLEY DR, FAIRFIELD CT 06824	62 MAIN ST	PARILLO FAMILY THE LTD PARTNERSHIP LP	4 HUNT CLUB LN, WESTPORT, CT 06880
68 MAIN ST	GARFIELD ANNE C & ARTHUR LANGE ET ALS	12 GENEVA RD, NORWALK CT 06850	136 MAIN ST	WESTFAIR INC	877 POST RD E #4, WESTPORT, CT 06880
78 MYRTLE AVE	KEENAN SHEILA F & THOMAS M	78 MYRTLE AVE, WESTPORT CT 06880	25 AVERY PL	WESTPORT HISTORICAL SOCIETY	25 AVERY PLACE, WESTPORT, CT 06880
58 MAIN ST	COBBLER LLC	9 DELETTA LN, WESTPORT CT 06880	90 MAIN ST	HANNAN PETER J & DOLORES B	PO BOX 548, WESTPORT, CT 06880-0548
38 MAIN ST	38 MAIN LP	97-77 QUEENS BLVD SUITE 1103, REGO PARK NY 11374	101 POST RD E	WW 101-107 POST LLC	28 CHURCH LN, WESTPORT, CT 06880
115 MAIN ST	CAMPANA 115 LLC	350 WILLOW ST, SOUTHPORT CT 06890	90 MAIN ST	FEARON PETER D & MARISA	PO BOX 575, WESTPORT, CT 06881
90 MAIN ST	SEVERN REALTY CORPORATION	445 PARK AVE 9TH FLOOR, NEW YORK NY 10022	36 CHURCH LN	RED X HOLDINGS LLC	PO BOX 5180, WESTPORT, CT 06881
142 MAIN ST	TEUSCHER FAMILY LMTD PARTNERSHIP	5 WILCOX LN, WESTPORT CT 06880	110 MYRTLE AVE	WESTPORT TOWN OF	110 MYRTLE AVE, WESTPORT, CT 06880
ELM ST	WESTPORT TOWN OF	110 MYRTLE AVE, WESTPORT CT 06880	90 MAIN ST	JAM ON MAIN LLC	28 WOODS GROVE RD, WESTPORT, CT 06880
60 CHURCH LN	BRAIDMAX LLC	PO BOX 5180, WESTPORT CT 06881	90 MAIN ST	CondoMain	CondoMain, WESTPORT, CT 06880
59 POST RD E	BEDFORD SQUARE ASSOC LLC	75 HOLLY HILL LN SUITE 305, GREENWICH CT 06830	90 MAIN ST	BHADRA PITHIVRAJ AND DATTA INDRANI	90 MAIN ST #7, WESTPORT, CT 06880
72 MAIN ST	ABC KINSHIP LLC	19 ROME STREET, NORWALK, CT	81 MYRTLE AVE	ZHANG BING & CINDY	81 MYRTLE AVE, WESTPORT, CT 06880
35 ELM ST	DD KEMPER-GUNN, LLC	75 HOLLY HILL LN SUITE 305, GREENWICH CT 06830	87 MYRTLE AVE	EGEBERG OLAV AND VERMEERSCH ISABELLE	9 CACCAMO TRL, WESTPORT, CT 06880
90 MAIN ST	WARD DARIA & KELLY	90 MAIN ST #6, WESTPORT, CT 06880	125 MAIN ST	CAMPANA 125 LLC	350 WILLOW ST, SOUTHPORT, CT 06890
35 ELM ST	WESTPORT TOWN OF	110 MYRTLE AVE, WESTPORT, CT 06880	36 ELM ST	36 5 15 PROPERTIES LLC	1 STONY PT W, WESTPORT, CT 06880
66 CHURCH LN	66 CHURCH LANE LLC	PO BOX 1013, PALM BEACH, FL 33480	90 MAIN ST	RUTHERFORD ANNE F TRUSTEE	9 OLD HILL RD, WESTPORT, CT
99 MYRTLE AVE	GLYNN PATRICIA	99 MYRTLE AVE, WESTPORT, CT 06880	139 MAIN ST	UNITED REALTY INC	1111 SUMMER ST SUITE 603, STAMFORD, CT 06905
190 MAIN ST	WHA EQUITIES CORPORATION	PO BOX 95, WESTPORT, CT 06881	12 AVERY PL	B + B ASSOCIATES	12 AVERY PL, WESTPORT, CT 06880-3201



LOCATION MAP
1" = 200'

NUMBER	TITLE	DATE	REVISED
CS001	COVER SHEET	01/26/2021	05/10/2021
CS002	MASTER LEGEND & NOTES	01/26/2021	05/10/2021
VB101	BOUNDARY & TOPOGRAPHIC SURVEY	05/31/2019	
CS101	SITE PLAN	01/26/2021	05/10/2021
CS501	SITE DETAILS I	01/26/2021	05/10/2021
CS502	SITE DETAILS II	01/26/2021	05/10/2021
CG101	GRADING & DRAINAGE PLAN	01/26/2021	
CG501	GRADING & DRAINAGE DETAILS	01/26/2021	
LP101	PLANTING PLAN	01/08/2021	05/10/2021
LP501	PLANTING DETAILS	01/08/2021	
LL101	LIGHTING PLAN	01/08/2021	05/10/2021
LL501	LIGHTING DETAILS	01/08/2021	

RELEASE DATES

DATE	ISSUED FOR
01/26/2021	70% FOR TOWN REVIEW AND COMMENT
05/10/2021	SITE PLAN APPLICATION

OWNER/APPLICANT

TOWN OF WESTPORT
110 MYRTLE AVENUE
WESTPORT, CONNECTICUT 06880
(203) 341-1000

CIVIL ENGINEER, SURVEYOR & LANDSCAPE ARCHITECT

LANGAN CT, INC.
555 LONG WHARF DRIVE
NEW HAVEN, CONNECTICUT 06511
(203) 562-5771

LANGAN

DEMOLITION NOTES

- GENERAL:**
- THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. IN ADDITION, THERE MAY BE EXISTING UNDERGROUND UTILITIES PRESENT THAT ARE NOT SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "CALL BEFORE YOU DIG," EXCAVATING THE HOLES, AND PREPARING ANY ADDITIONAL RESEARCH OR INVESTIGATIONS REQUIRED IN ORDER TO ENSURE THAT PROPOSED UTILITIES TO REMAIN ARE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN IS REQUIRED TO BE REPAIRED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL SHUTOFFS FOR ALL APPLICABLE UTILITIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
 - THE CONTRACTOR SHALL LOCATE/CONFIRM ALL DRAINAGE INFRASTRUCTURE AND MAINTAIN ADEQUATE STORM DRAINAGE THROUGHOUT CONSTRUCTION.
 - THE CONTRACTOR SHALL FIELD LOCATE AND PROPERLY DISCONNECT APPROPRIATE LATERALS TO LIVE MAINS PRIOR TO DEMOLITION AND IN ACCORDANCE WITH UTILITY COMPANY STANDARDS.
 - THE CONTRACTOR SHALL MAINTAIN THE SAFETY AND PROTECTION OF BOTH PEDESTRIANS AND MOTORISTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONARY AND PROTECTIVE MEASURES, INCLUDING SIGNS, LIGHTS, BARRIERS, FENCING AND TRAFFIC FLAGMEN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION ASSOCIATED PERMITS.
 - CONTRACTOR TO PROTECT AND MAINTAIN ALL UTILITIES TO REMAIN UNTIL TEMPORARY OR PERMANENT NEW LINES ARE INSTALLED.
- DEMOLITION:**
- THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL STRUCTURES WITHIN THE PROJECT LIMITS INDICATED TO BE REMOVED.
 - THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE, & LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, CONCRETE PADS, ETC.

GENERAL SITE NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION WAS OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, DATED 05/31/19. SITE PLAN PREPARED FROM THIS CLASS A-2 SURVEY.
- THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIs) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- THE CONTRACTOR AND/OR HIS/HER AGENTS MUST MAINTAIN (REPAIR/REPLACE), WHEN NECESSARY, THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- HANDICAP PARKING SHALL COMPLY WITH THE CT STATE BUILDING CODE REQUIREMENTS AS OF DECEMBER 2016 OR LATEST REVISED.

GRADING & DRAINAGE NOTES

- STORM DRAINAGE PIPING INSTALLATION SHALL COMMENCE AT THE FURTHEST DOWNSTREAM POINT AND PROCEED UPSTREAM "IN THE DRY".
- THE CONTRACTOR WILL BE REQUIRED TO CLEAN THE ENTIRE DRAINAGE SYSTEM OF ALL DEBRIS AND OBSTRUCTIONS BOTH DURING CONSTRUCTION AND AT THE END OF CONSTRUCTION PRIOR TO ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF ALL FORMWORK FROM STRUCTURES, CONCRETE AND MORTAR DROPPINGS, CONSTRUCTION DEBRIS, AND DIRT. THE SYSTEM SHALL BE THOROUGHLY FLUSHED CLEAN AND THE CONTRACTOR SHALL FURNISH ALL NECESSARY HOSE, PUMPS, PIPE, AND OTHER EQUIPMENT THAT MAY BE REQUIRED FOR THIS PURPOSE. NO DEBRIS SHALL BE FLUSHED INTO EXISTING STORM DRAINS, WETLANDS, OR WATERCOURSES. ALL DEBRIS SHALL BE REMOVED FROM THE SYSTEM AND DISPOSED OF IN ACCORDANCE WITH ALL GOVERNING AGENCIES.
- ALL MANHOLE COVERS, GRATES, INLETS, AND RIMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- CONTRACTOR TO PROVIDE ALL FITTINGS AND BENDS NECESSARY TO ACCOMPLISH WORK.

CONTRACTOR NOTES

- THE WORK TO BE PERFORMED IS AS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS MAY NOT COMPLETELY REPRESENT ALL SPECIFIC DETAILS OF INSTALLATION REQUIRED FOR CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL ENGINEERING INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITEWORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND RECEIVING REVIEWS AND/OR DIRECTION ON WRITTEN REQUESTS FOR INFORMATION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL MAKE AND SHALL BE DEEMED TO HAVE MADE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND OWNER'S ENGINEER PRIOR TO COMMENCEMENT OF WORK. THIS INCLUDES A TOPOGRAPHIC SURVEY OF ANY AREAS THE CONTRACTOR REQUIRES ADDITIONAL TOPOGRAPHIC INFORMATION. ANY CONDITIONS THAT DIFFER FROM THE EXISTING CONDITIONS SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR A CHANGE ORDER.
- IT IS SPECIFICALLY NOTED THAT INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL REVIEW ALL PLANS, PROFILES AND ANY INFORMATION/DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING REQUESTING CLARIFICATION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTE THAT THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND AVAILABLE REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL APPLICABLE REQUIREMENTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL BEFORE YOU DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE THE PROPOSED SANITARY AND STORM PIPING WILL CROSS EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS SO THAT AN APPROPRIATE MODIFICATION CAN BE MADE.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE TOWN OF WESTPORT TO SECURE CONSTRUCTION PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, TOWN OF WESTPORT AND STATE OF CONNECTICUT.

ABBREVIATIONS

- | | |
|---------------------------------------|--|
| SWL - SINGLE WHITE LINE | MH - MANHOLE |
| DYL - DOUBLE YELLOW LINE | COB - CURBED CATCH BASIN (STORM INLET) |
| BWL - BROKEN WHITE LINE | INV - INVERT |
| CLF - CHAIN LINK FENCE | LF - LINEAR FEET |
| AD - AREA DRAIN | CO - CLEAN OUT |
| CB - CATCH BASIN | TF - TOP OF FRAME |
| TYP. - TYPICAL | RCP - REINFORCED CONCRETE PIPE |
| N.I.C. - NOT IN CONTRACT | YD - YARD DRAIN |
| HDPE - HIGH DENSITY POLYETHYLENE PIPE | V.I.F. - VERIFY IN FIELD |
| PVC - POLYVINYL CHLORIDE PIPE | GTD - GRADE TO DRAIN |
| RL - ROOF LEADER | LA - LANDSCAPE AREA |

UTILITY CONTACTS

- | | | |
|---|---|---|
| ELECTRIC
EVERSOURCE
LORENZO DIURNO
9 TINDALL AVENUE
NORWALK, CT 06851
(203) 845-3435 | TELEPHONE
FRONTIER COMMUNICATIONS
JAY SCHIAVONE
(203) 383-6623 | GAS
SOUTHERN CONNECTICUT GAS
BRIAN EARLY
60 MARSH HILL ROAD
ORANGE, CT 06477
(203) 339-0099 |
| WATER
AQUARION
DAVE SANDOR
200 MONROE TURNPIKE
MONROE, CT 06468
(203) 445-7310 | PUBLIC WORKS
TOWN HALL
PETER RATKIEWICH
110 MYRTLE AVENUE, ROOM 210
WESTPORT, CT 06880
(203) 341-1120 | SANITARY
WESTPORT ENGINEERING
BRYAN H THOMPSON
110 MYRTLE AVE
WESTPORT, CT 06880
(203) 341-1129 |
| TOWN ENGINEER
TOWN HALL
KEITH WILBERG
110 MYRTLE AVENUE, ROOM 210
WESTPORT, CT 06880
(203) 341-1793 | CABLE
CABLEVISION OF CONNECTICUT
28 CROSS STREET
NORWALK, CT 06851
(203) 750-5779 | |

LEGEND

	EXISTING	PROPOSED
BUILDING LINE		
DOOR LOCATION		
CURB LINE		
PROPERTY LINE		
PARKING COUNT		
CROSSWALK		
PAVEMENT MARKING		
DIRECTION OF TRAVEL		
TRAFFIC SIGN		
SIGN DESIGNATION		
CONCRETE SIDEWALK		
SAWCUT LINE		
CONTOUR		
SPOT ELEVATION		
STORM PIPE		
CATCH BASIN		
AREA DRAIN		
YARD DRAIN		
STORM MANHOLE		
SANITARY SEWER MAIN		
SANITARY MANHOLE		
CLEANOUT		
WATER MAIN (DOMESTIC)		
FIRE PROTECTION		
FIRE HYDRANT		
WATER GATE VALVE		
SIAMESE CONNECTION		
GAS VALVE		
GAS LINE		
GAS METER		
OVERHEAD WIRES		
UTILITY POLE		
LIGHT POLE		
UNDERGROUND ELECTRIC		
ELECTRIC MANHOLE		
ELECTRIC/TRAFFIC VAULT		
UNDERGROUND TELECOMM		
TELEPHONE MANHOLE		
TRANSFORMER		
LIMIT OF DISTURBANCE		
SILT SOCK		
PROPOSED INLET PROTECTION		
CONSTRUCTION FENCE		
ANTI-TRACKING PAD		
HAYBALES		
ZONE LINES		
BUILDING DOORS		
PARKING COUNTS		

SIGN LEGEND

UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING EXCAVATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
 - LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR THE PROPER UTILITY COMPANY PROVIDING SERVICE.
 - GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
 - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
 - GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SYSTEM PRIOR TO INSTALLATION.
- ELECTRIC, TELEPHONE, & GAS:**
- CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH THE APPROPRIATE UTILITY COMPANIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30 INCHES OF COVER FOR ALL UNDERGROUND ELECTRIC, TELEPHONE AND GAS UTILITIES.
- WATER & SANITARY:**
- GRAVITY PIPING SHALL BE INSTALLED FROM DOWNSTREAM TO UPSTREAM, "IN THE DRY". THE CONTRACTOR IS ENCOURAGED TO BEGIN WORK AT THE MOST DOWNSTREAM POINT IN THE SYSTEM, ESPECIALLY WHEN THE NEW WORK WILL CONNECT TO AN EXISTING UTILITY DOWNSTREAM. IF THE CONTRACTOR CHOOSES NOT TO START AT THE FURTHEST DOWNSTREAM LOCATION, THEN HE IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, ELEVATION, AND INVERT OF THE EXISTING UTILITY PRIOR TO STARTING ANY WORK AND VERIFYING THAT THE EXISTING LOCATION AND INVERT ALLOWS FOR THE CONSTRUCTION OF THE PROPOSED SYSTEM AS DESIGNED.

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS

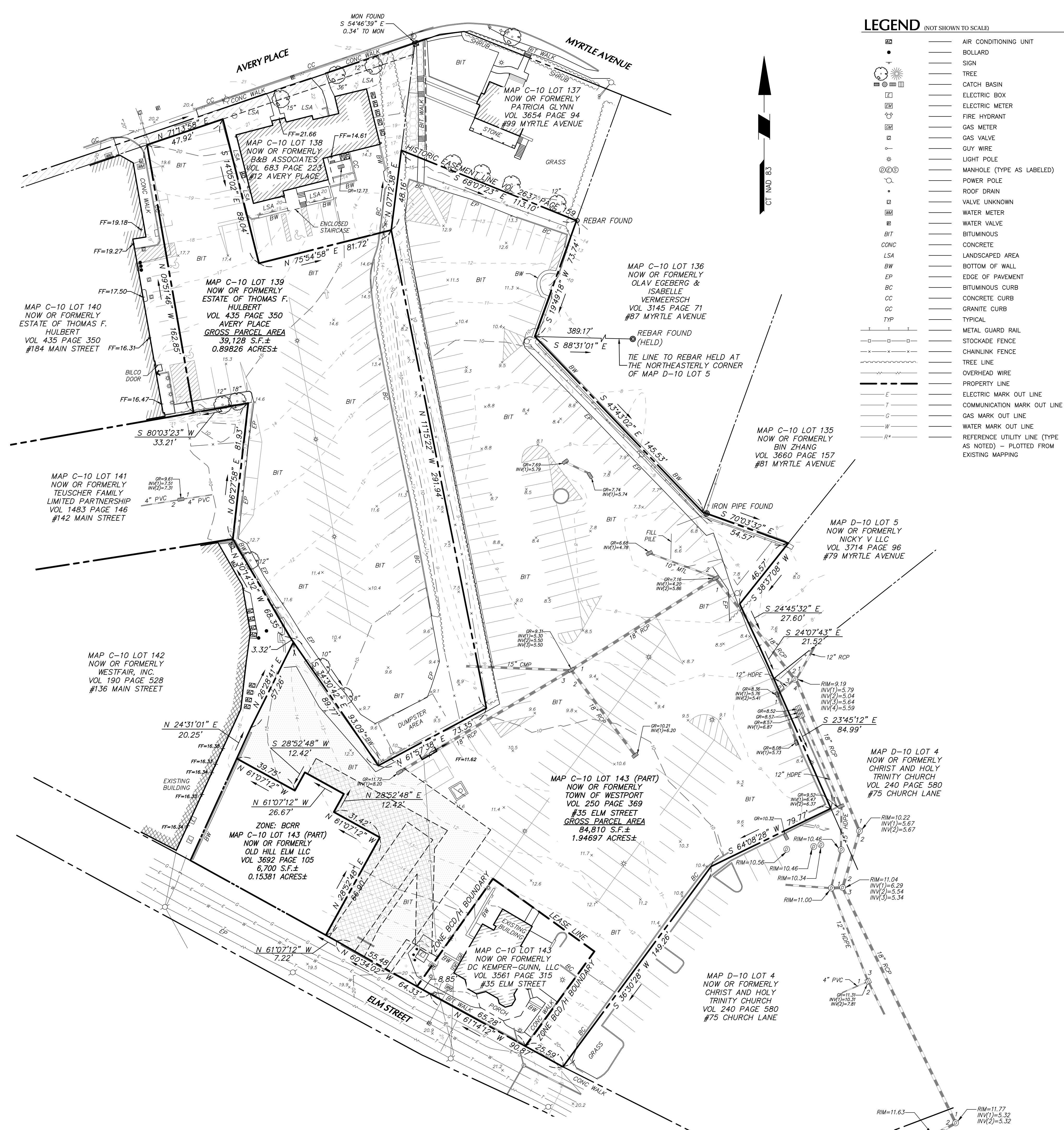
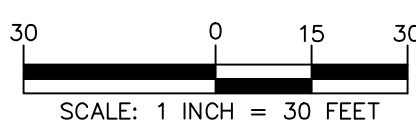
Project
BALDWIN PARKING LOT IMPROVEMENTS
ELM STREET
WESTPORT CONNECTICUT
Drawing Title

MASTER LEGEND & NOTES

Project No. 140204001	Drawing No. CS002
Date 01/26/2021	
Drawn By NCW	
Checked By DTG	

NOTES

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THIS SURVEY IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL ACCURACY OF A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO A T-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY OPINION AND DEPICT SITE FEATURES FOR FUTURE SITE DEVELOPMENT.
- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
 - MAP TITLED "KEMPER-GUNN HOUSE, PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY, WESTPORT, CONNECTICUT", SCALE: 1"=20', DATED: 09/11/2014, REVISED: 09/11/2014, BY: LANGAN ENGINEERING & ENVIRONMENTAL SERVICES
 - MAP TITLED "PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY KEMPER-GUNN HOUSE" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED: 09/11/2014.
 - MAP TITLED "PLOT PLAN PREPARED FOR TOWN OF WESTPORT" BY LEONARD SURVEYORS, LLC, DATED: SEPTEMBER 22, 2002.
 - MAP TITLED "PLOT PLAN PREPARED FOR TOWN OF WESTPORT" BY LEONARD SURVEYORS, LLC, DATED: JANUARY 3, 2006.
 - MAP TITLED "MAP PREPARED FOR ROSE KRAFT WESTPORT CONN", SCALE: 1"=40', DATED: APRIL 1956, MAP #4417
 - MAP TITLED "MAP OF PROPERTY TO BE TRANSFERRED FROM DEBORA SLACK TO PEGGY VAN KIRK REID WESTPORT CONN.", SCALE: 1"=40', DATED: APRIL 1943, MAP #1751
 - MAP TITLED "MAP SHOWING PROPERTY TO BE ACQUIRED BY THE TOWN OF WESTPORT FROM ELLEN RICE WILEY" DATED JUNE 1967.
 - MAP TITLED "SURVEY PREPARED FOR THE TOWN OF WESTPORT PARKING AUTHORITY WESTPORT CONN", SCALE: 1"40', DATED: JUNE 1966, MAP #6434
 - MAP TITLED "MAP OF PROPERTY OF EDWARD C. BIRGE & EST. KATE T. BIRGE, WESTPORT CONN.", SCALE: 1"=20', DATED MARCH 1938, MAP #1380
 - MAP TITLED "MAP OF PROPERTY OF PAULINE CARUSON ET-ALS." DATED DECEMBER 1947.
 - MAP TITLED "SURVEY PREPARED FOR CHRIST AND HOLY TRINITY CHURCH WESTPORT, CONN.", SCALE: 1"=20', DATED: FEBRUARY 23, 1966, MAP #6238
 - MAP TITLED "MAP OF PROPERTY SURVEYED FOR DOROTHY R. HEALY WESTPORT CONN.", SCALE: 1"=20', DATED: JANUARY 1940, LAST REVISED: APRIL 1941.
 - MAP TITLED "ALTA/ACSM LAND TITLE SURVEY" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED MARCH 26, 2007 AND LAST REVISED JUNE 12, 2013.
 - MAP TITLED "PROPERTY OF THOMAS F. HULBERT "AVERY COURT." WESTPORT CONN.", SCALE: 1"=20', MAP #3006
 - MAP TITLED "MAP DEPICTING PROPOSED UTILITY EASEMENTS TO BE GRANTED TO THE TOWN OF WESTPORT ACROSS PROPERTIES LOCATED AT 184 MAIN STREET & 12 AVERY PLACE WESTPORT, CONNECTICUT", SCALE: 1"=20', DATED: 03/09/2016, MAP #10262
 - MAP TITLED "SURVEY PREPARED FOR THE ESTATE OF JENNIE S. THORPE WESTPORT, CONN", SCALE: 1"=20', DATED: MARCH 1961, MAP #5510
 - MAP TITLED "PLOT PLAN PROPERTY SURVEYED FOR SUSAN SCHULTZ LOCATED 87 MYRTLE AVENUE - WESTPORT, CONNECTICUT", SCALE: 1"=20', DATED: DEC. 5, 1988, MAP #8715
 - MAP TITLED "MAP OF PROPERTY OWNED BY MISS MARGARET JUDSON WESTPORT, CONN.", SCALE: 1"=20', DATED: JULY 1922, MAP #236
 - MAP TITLED "SUBDIVISION MAP EMILY MCLAURY HOUSE 99 MYRTLE AVENUE WESTPORT CONNECTICUT", SCALE: 1"=20', DATED: 08/08/2015, BY: LANGAN CT, INC.
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
- ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88 ESTABLISHED THROUGH GPS METHODS.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTH OF APRIL 2019.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "FAIRFIELD COUNTY, CONNECTICUT PANEL 413 OF 626, MAP NUMBER: 09001C0413G, EFFECTIVE DATE: JULY 8, 2019" THE PROJECT AREA IS IN ZONE X (UNSHADED).
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.

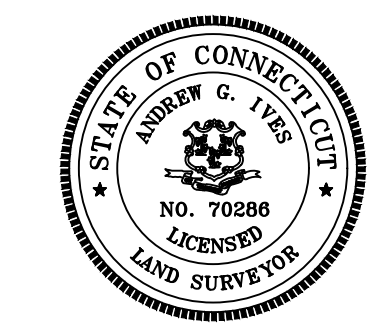
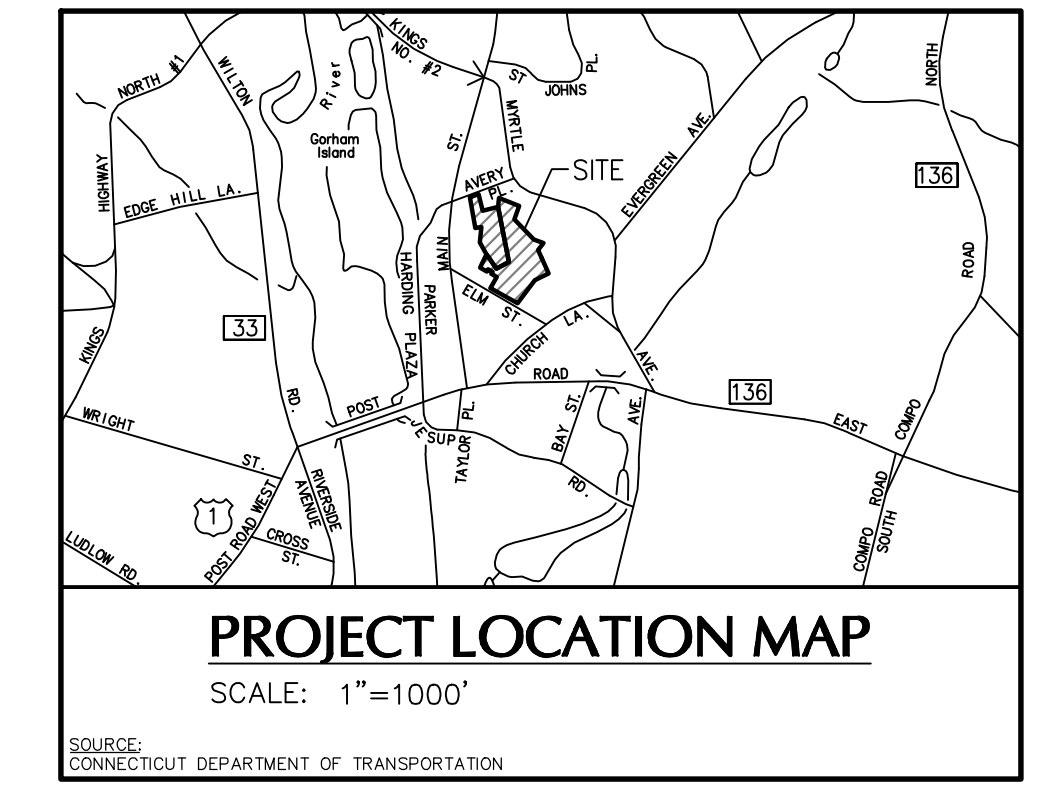


LEGEND (NOT SHOWN TO SCALE)

	AIR CONDITIONING UNIT
	BOLLARD
	SIGN
	TREE
	CATCH BASIN
	ELECTRIC BOX
	ELECTRIC METER
	FIRE HYDRANT
	GAS METER
	GAS VALVE
	GUY WIRE
	LIGHT POLE
	MANHOLE (TYPE AS LABELED)
	POWER POLE
	ROOF DRAIN
	VALVE UNKNOWN
	WATER METER
	WATER VALVE
	BITUMINOUS
	CONCRETE
	LANDSCAPED AREA
	BOTTOM OF WALL
	EDGE OF PAVEMENT
	BITUMINOUS CURB
	CONCRETE CURB
	GRANITE CURB
	TYPICAL
	METAL GUARD RAIL
	STOCKADE FENCE
	CHAINLINK FENCE
	TREE LINE
	OVERHEAD WIRE
	PROPERTY LINE
	ELECTRIC MARK OUT LINE
	COMMUNICATION MARK OUT LINE
	GAS MARK OUT LINE
	WATER MARK OUT LINE
	REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING

EASEMENT LEGEND

	RIGHT OF WAY ACROSS LOT 138 IN FAVOR OF LOT 139, VOL 118 PAGE 579
	EXISTING CL&P EASEMENT ACROSS #35 ELM STREET, VOL 3658 PAGE 285
	PROPOSED EASEMENT IN FAVOR OF #35 ELM STREET
	PROPOSED UTILITY EASEMENT IN FAVOR OF OLD HILL ELM LLC
	PROPOSED ACCESS EASEMENT IN FAVOR OF OLD HILL ELM LLC



Date	Description	No.
REVISIONS		
"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."		
ANDREW G. IVES	DATE SIGNED	
PROFESSIONAL LAND SURVEYOR		
CT STATE LIC. NO. 70286		

LANGAN

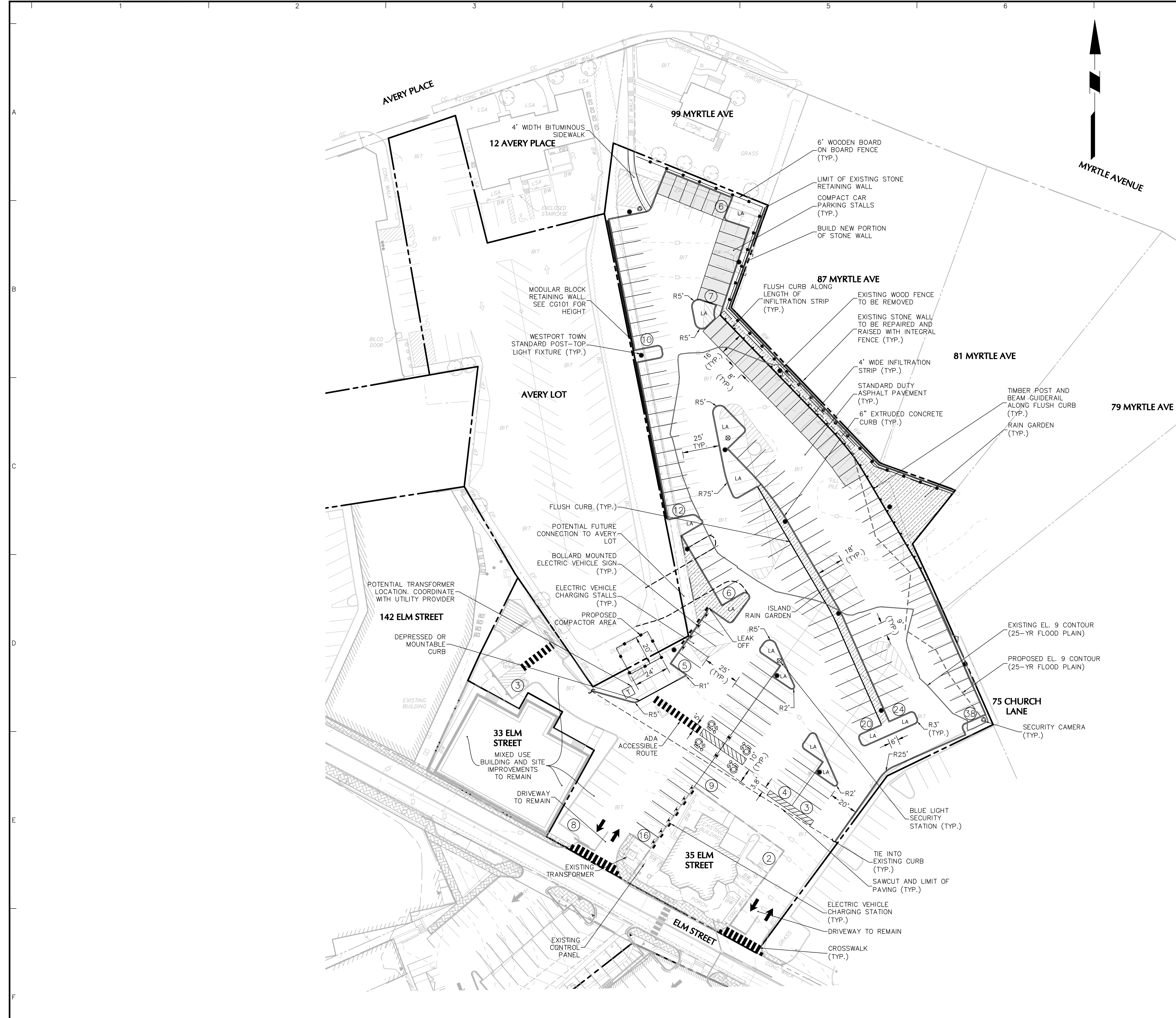
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New Haven, CT 06511

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35 ELM STREET & AVERY PLACE
MAP C-10 LOTS 139 & 143

BOUNDARY & TOPOGRAPHIC SURVEY

Project No.	Drawing No.
140204001	VB101
Date	
MAY 31, 2019	
Drawn By	
JIS	
Checked By	
AGI	Sheet 1 of 1



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	--- ---	--- ---
BUILDING LINE	////	////
6" CONCRETE CURB	====	====
CURB LEAK OFF	====	====
PARKING ROW COUNT	---	---
RAIN GARDEN	////	////
WOOD FENCE	--- ---	--- ---
CONTOUR	- - - -	- - - -
RETAINING WALL	=====	=====

PARKING TABLE

	WITHIN 25-YR FLOOD	OUTSIDE 25-YR FLOOD	TOTAL ¹
EXISTING	72	131	203
PROPOSED	22	151	173
NET CHANGE	-50	+20	-30

1. TOTAL PARKING COUNTS INCLUDE IMPROVEMENTS ADJACENT TO 33 ELM STREET.
 2. PARKING COUNT INCLUDES 31 COMPACT PARKING SPACES, PER TOWN OF WESTPORT ZONING REGULATIONS, UP TO 20% OF PARKING MAY BE COMPACT. 34 COMPACT SPACES ARE ALLOWED (172 SPACES X 0.2 = 34.4 = 34).

Date	Description	No.
05/10/2021	SITE PLAN APPLICATION	1

REVISIONS

Date	Description	No.

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Project
BALDWIN PARKING LOT IMPROVEMENTS

ELM STREET
 WESTPORT CONNECTICUT

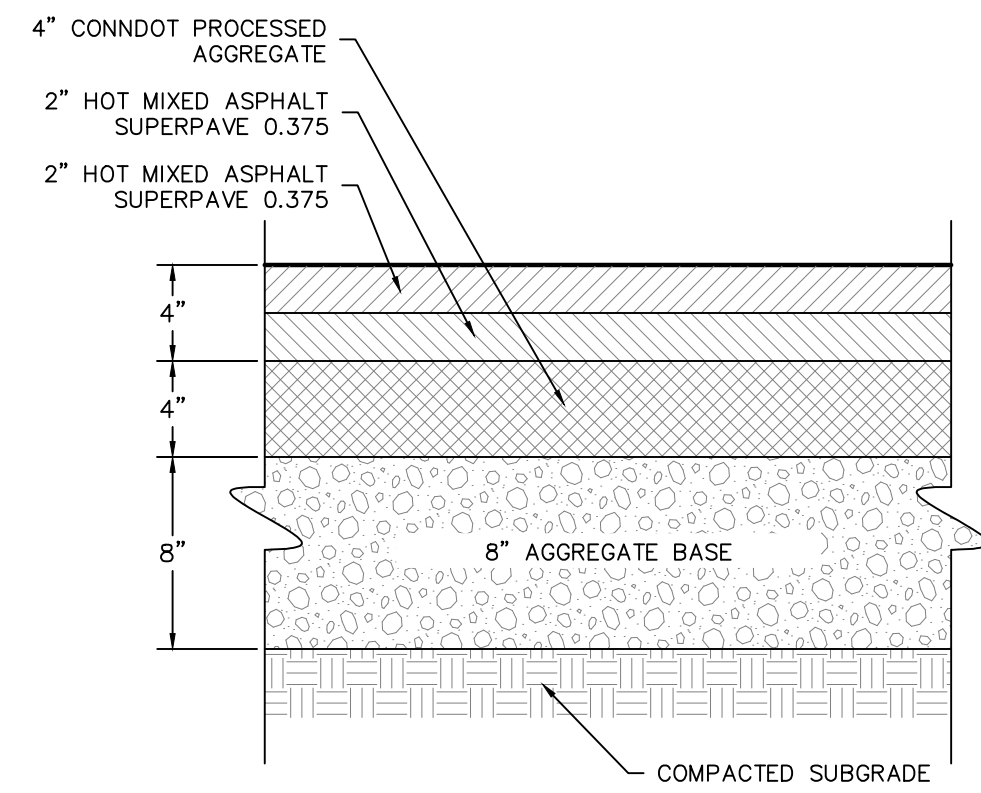
Drawing Title
SITE PLAN

Project No. 140204001	Drawing No. CS101
Date 01/26/2021	
Drawn By AMK	
Checked By DTG	



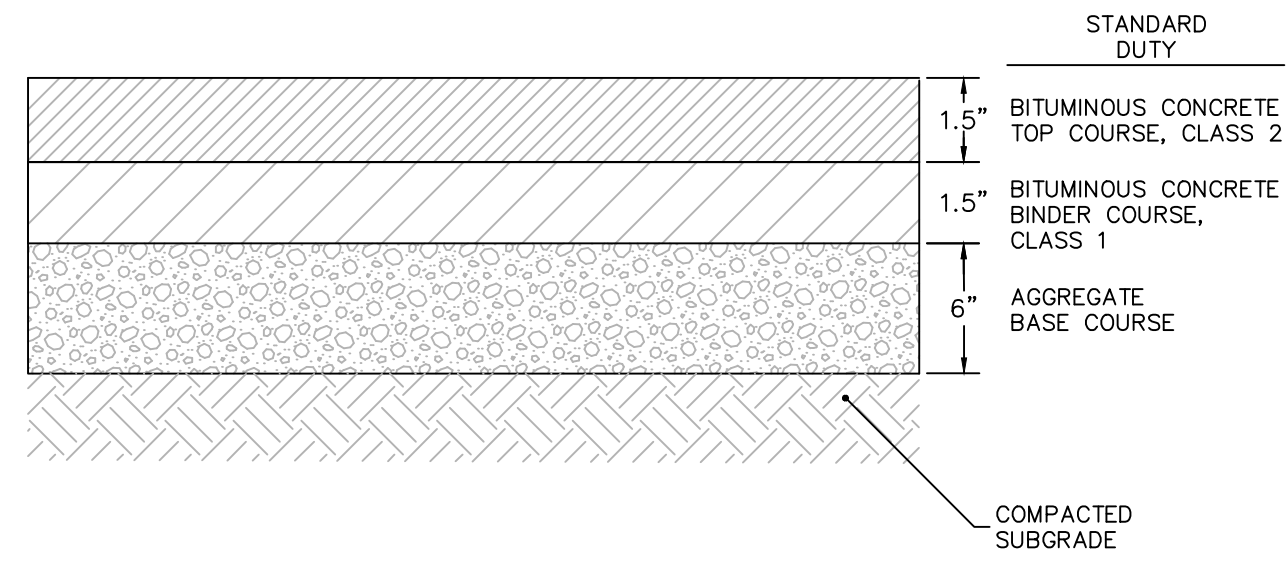
PROJECT NO. 140204001

DATE PLOTTED



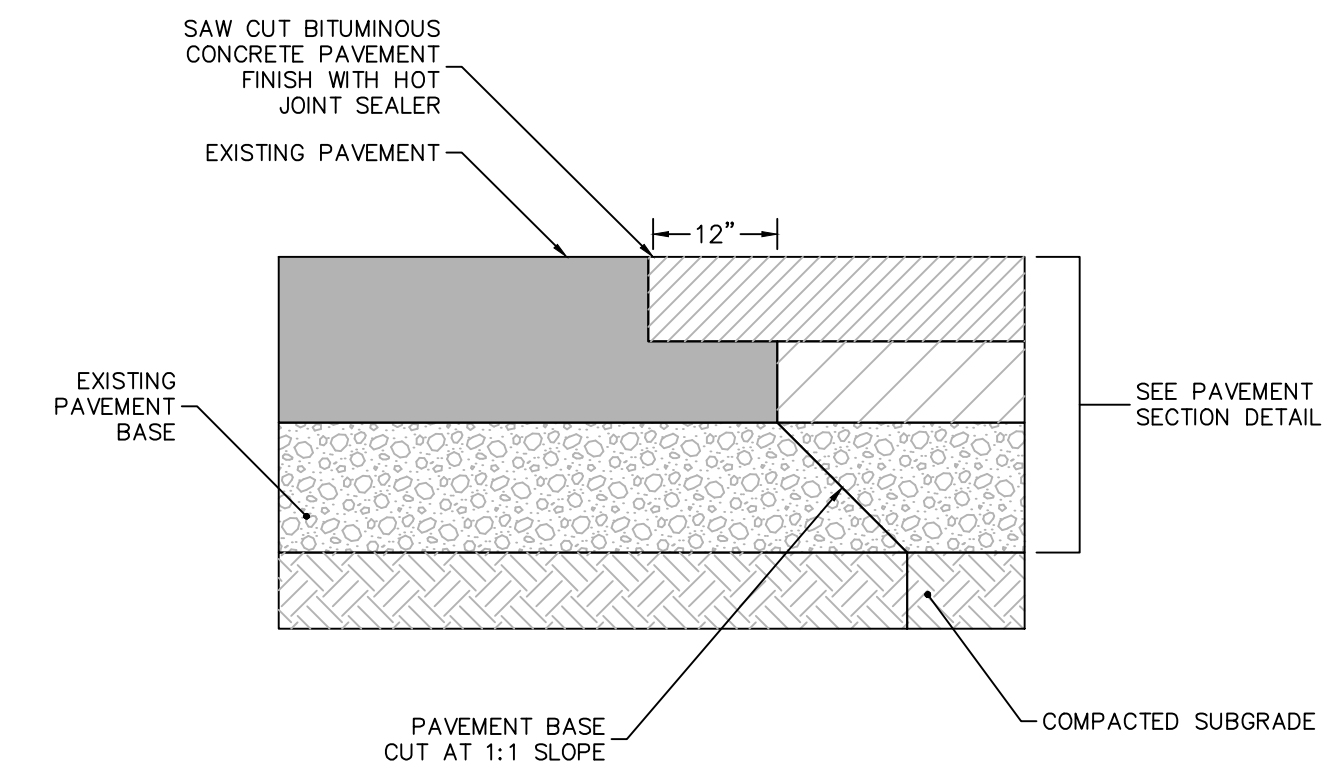
- NOTES:
1. BITUMINOUS CONCRETE SHALL CONFORM TO CONNDOT SPECIFICATIONS.
 2. PROCESSED AGGREGATE AND ROLLED GRAVEL SUBBASE SHALL CONFORM TO CONNDOT SPECIFICATIONS.
 3. RECYCLED ON-SITE PAVEMENT IS PERMITTED AS THE BASE COURSE, FINE GRADE WITH PROCESSED STONE AGGREGATE.

1 PAVEMENT SECTION IN TOWN R.O.W.
N.T.S.



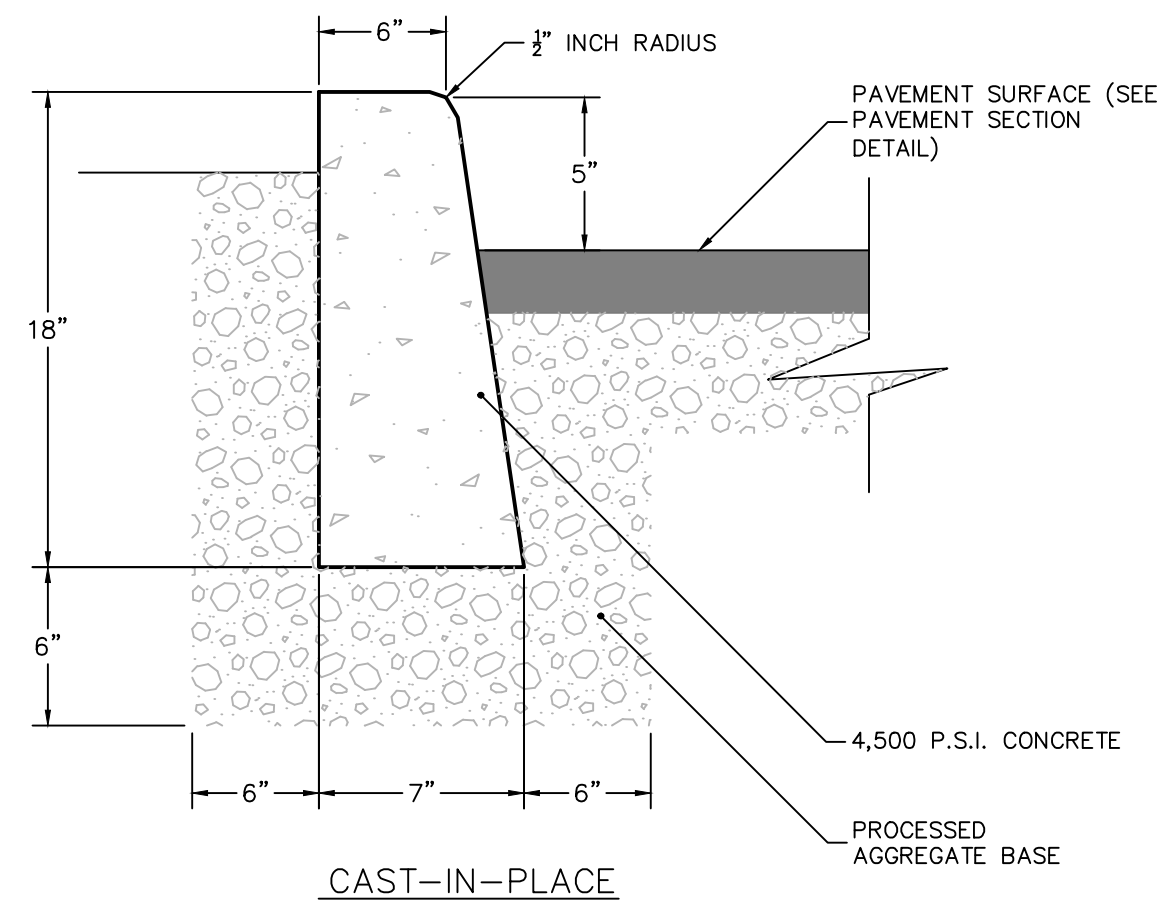
- NOTES:
1. PROVIDE BITUMINOUS CONCRETE PAVEMENT AS INDICATED ON THE SITE PLAN.
 2. BITUMINOUS CONCRETE SHALL CONFORM TO CT D.O.T. SPECIFICATIONS, FORM 817 SECTION 4.03-7, LATEST REVISION
 3. PROCESSED AGGREGATE SHALL CONFORM TO CT D.O.T. SPECIFICATIONS, FORM 817 SECTION 3.03, LATEST REVISION

2 BITUMINOUS CONCRETE PAVEMENT SECTION
N.T.S.



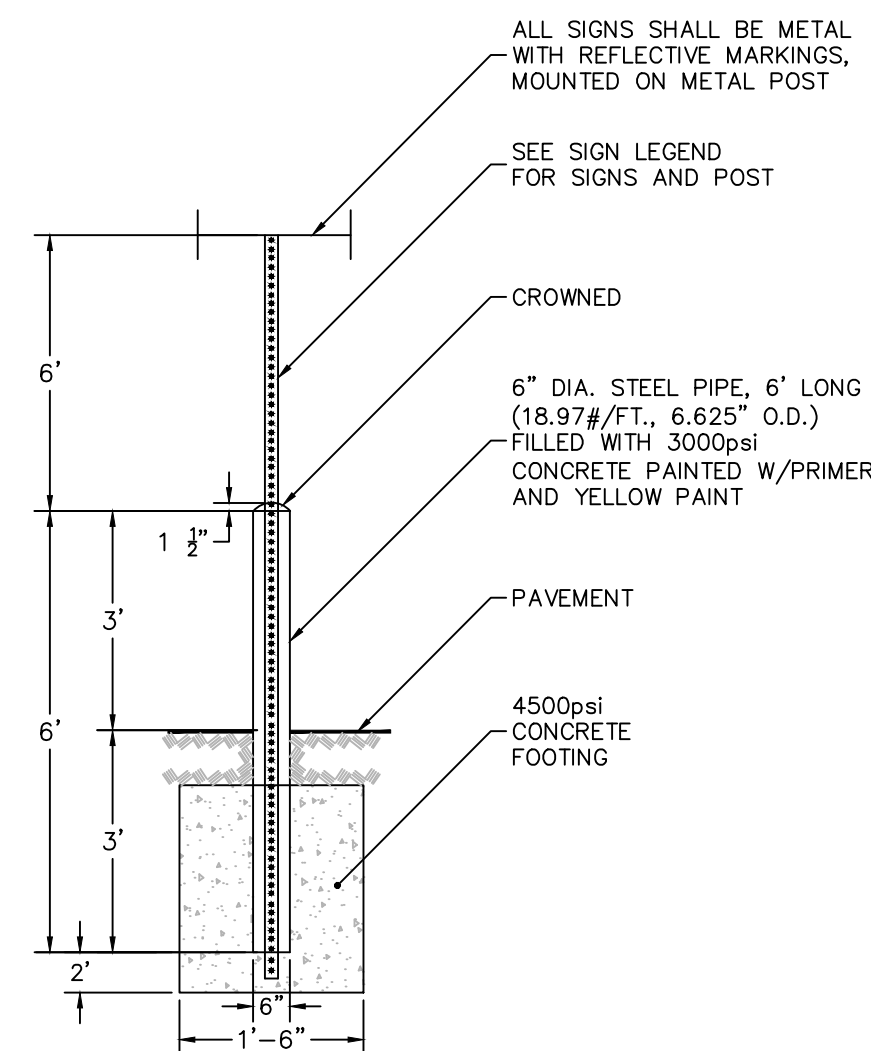
- NOTES:
1. CONTRACTOR TO INSTALL TACK COAT ON ALL BUTT EDGES OF EXISTING PAVEMENT

3 SAW CUT PAVEMENT SECTION
N.T.S.

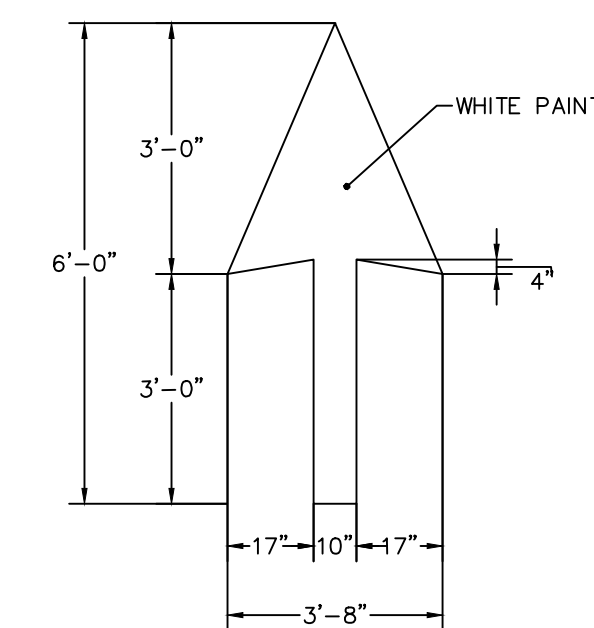


- NOTES:
1. CONCRETE TO TEST 4,500 P.S.I. MINIMUM ON 28 DAY TEST. AIR ENTRAINMENT 4% TO 7%.
 2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CAST-IN-PLACE CURB 20"-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.
 3. EXPOSED CONCRETE SURFACE IS TO BE RUBBED TO PROVIDE SMOOTH FINISHED SURFACE.

4 CONCRETE CURB
N.T.S.



5 BOLLARD MOUNTED SIGN
N.T.S.



6 PAVEMENT MARKINGS
N.T.S.

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS

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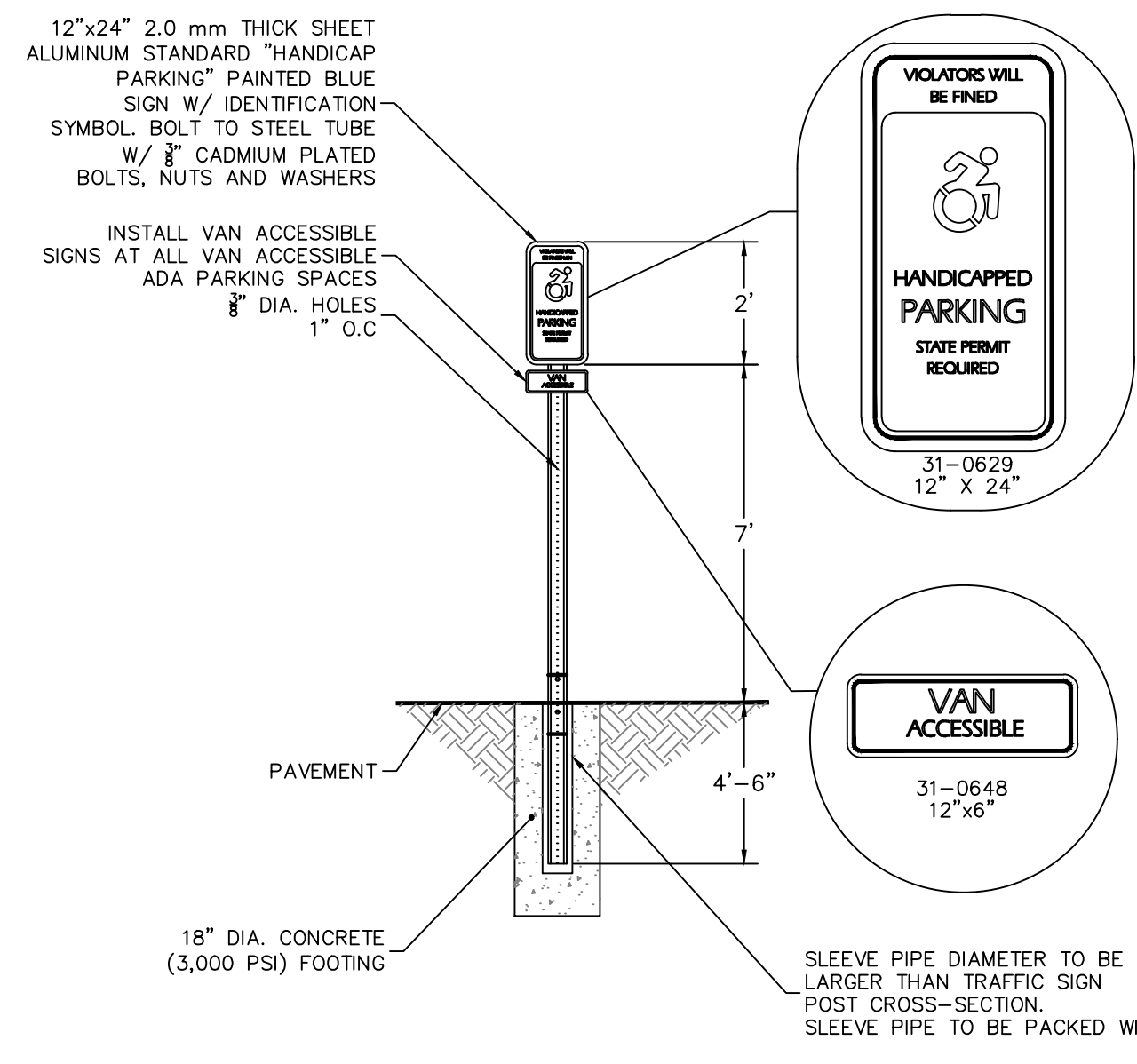
Project
BALDWIN PARKING LOT IMPROVEMENTS

WESTPORT CONNECTICUT

ELM STREET

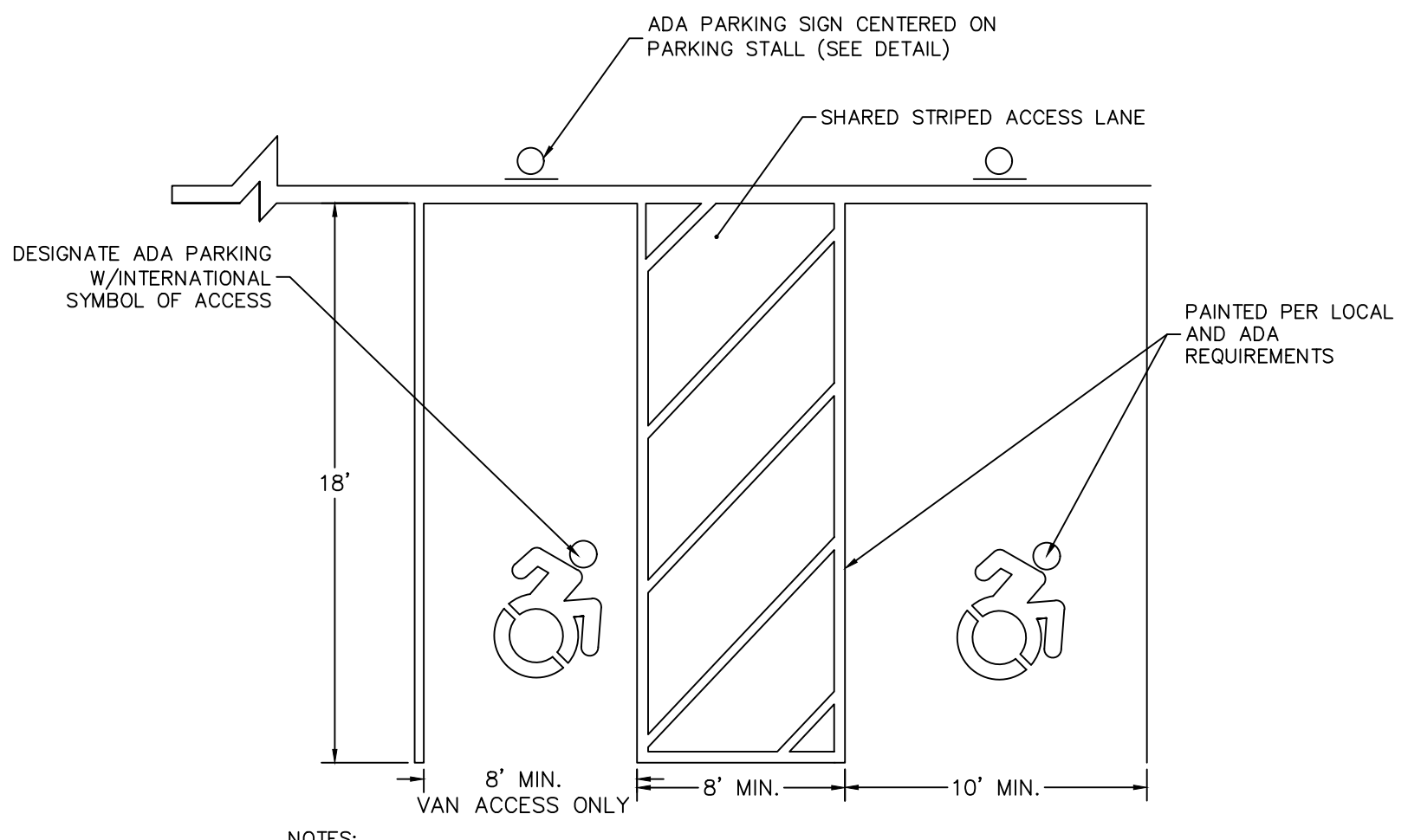
Drawing Title
SITE DETAILS I

Project No. 140204001	Drawing No. CS501
Date 01/26/2021	
Drawn By NCW	
Checked By DTC	



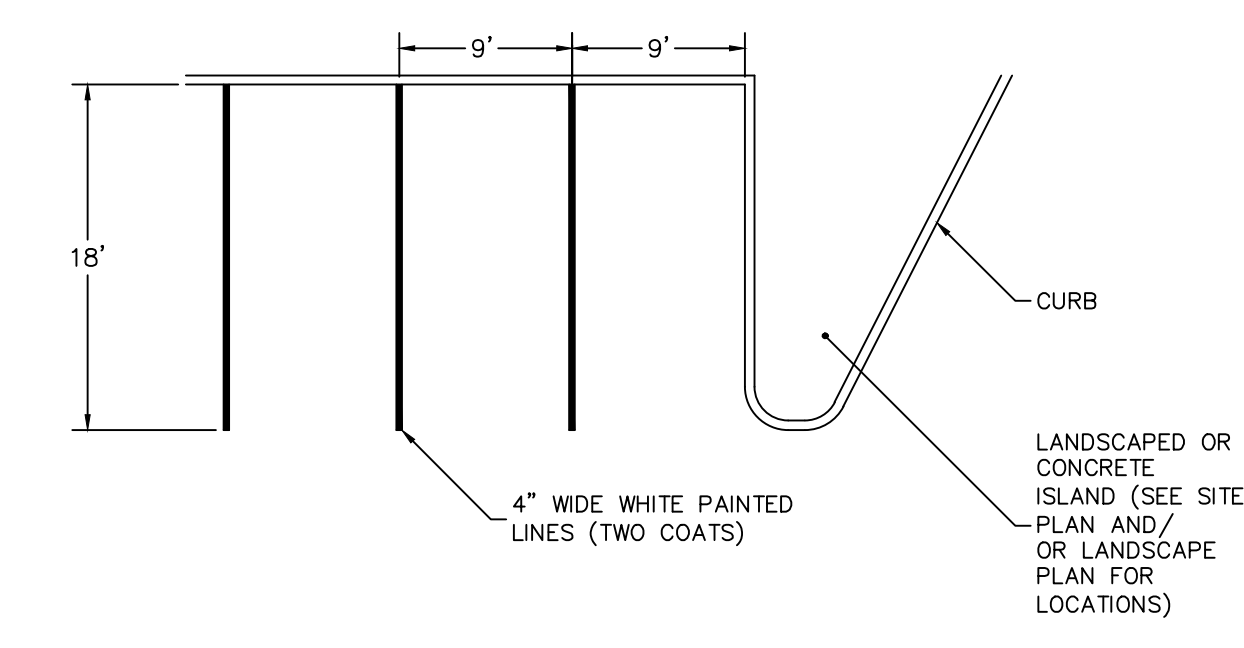
- NOTES:**
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 2. ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.
 3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
 4. POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."
 5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
 6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.

1 ADA ACCESSIBLE PARKING SIGN
N.T.S



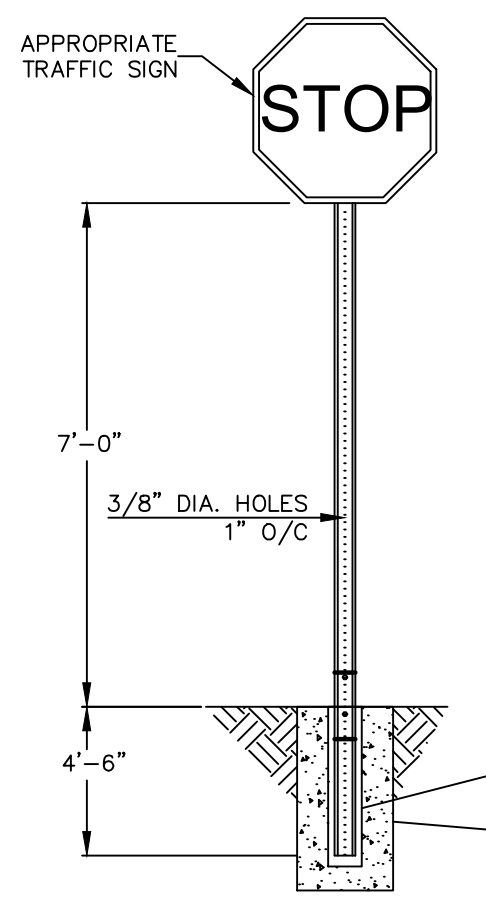
- NOTES:**
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 3. APPLY TWO COATS OF TRAFFIC PAINT. ALLOW FOR A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 4. STANDARD ADA ACCESSIBLE PARKING SPOTS SHALL HAVE 5' WIDE ACCESS AISLE & 10' WIDE PARKING STALL.

2 ADA PARKING STALL STRIPING
N.T.S



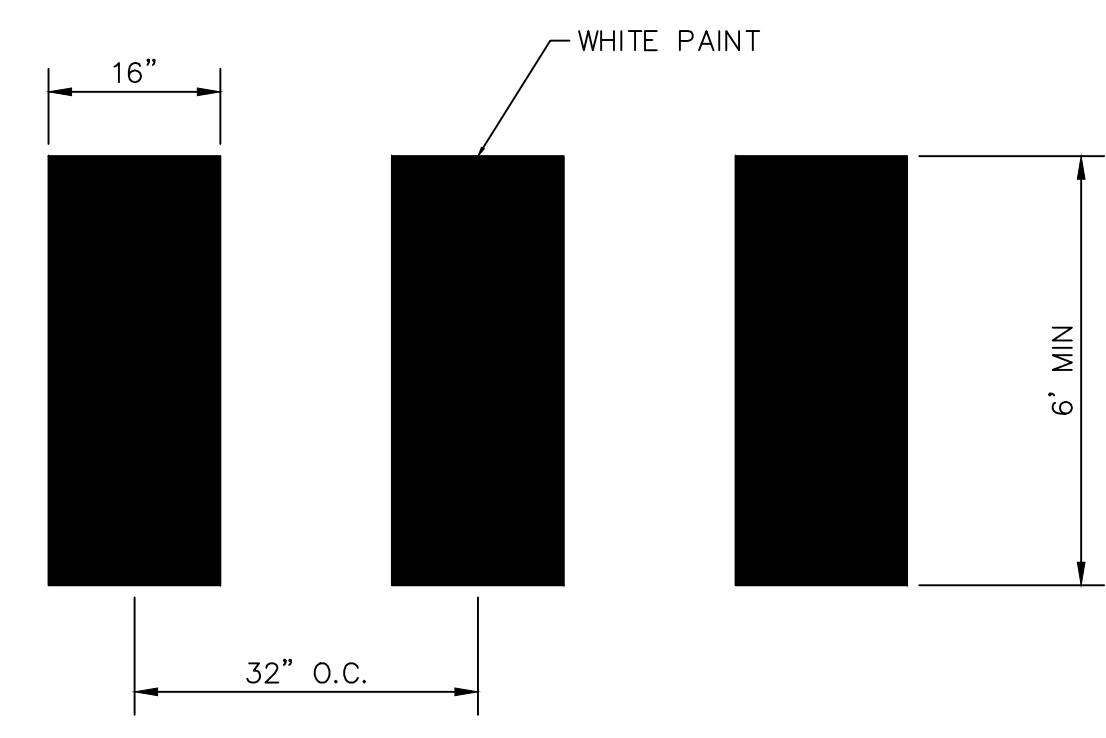
- NOTES:**
1. ALL PAINT SHALL BE SHERWIN-WILLIAMS "SETFAST" PAINT. #TM2160 - WHITE
 2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN 5 DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT APPLY SECOND COAT JUST PRIOR TO BUILDING OPENING.

3 PARKING STALL STRIPING
N.T.S



- NOTES:**
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND TOWN STANDARDS.
 2. ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.
 3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
 4. POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."
 5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
 6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
 7. ALL TRAFFIC AND PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ALL CURRENT AMENDMENTS.

4 TRAFFIC SIGN POST
N.T.S



- NOTES:**
1. TWO COATS OF EPOXY PAINT SHALL BE USED FOR CROSSWALK STRIPING. ALLOW FOR A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.

5 CROSSWALK STRIPING
N.T.S

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS

LANGAN

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Project

BALDWIN PARKING LOT IMPROVEMENTS

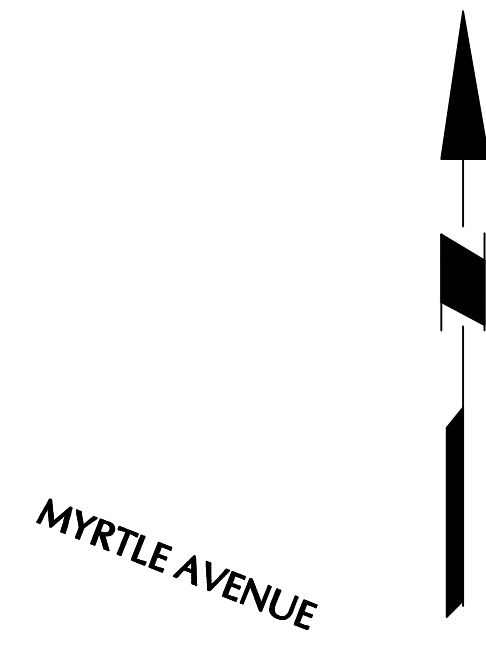
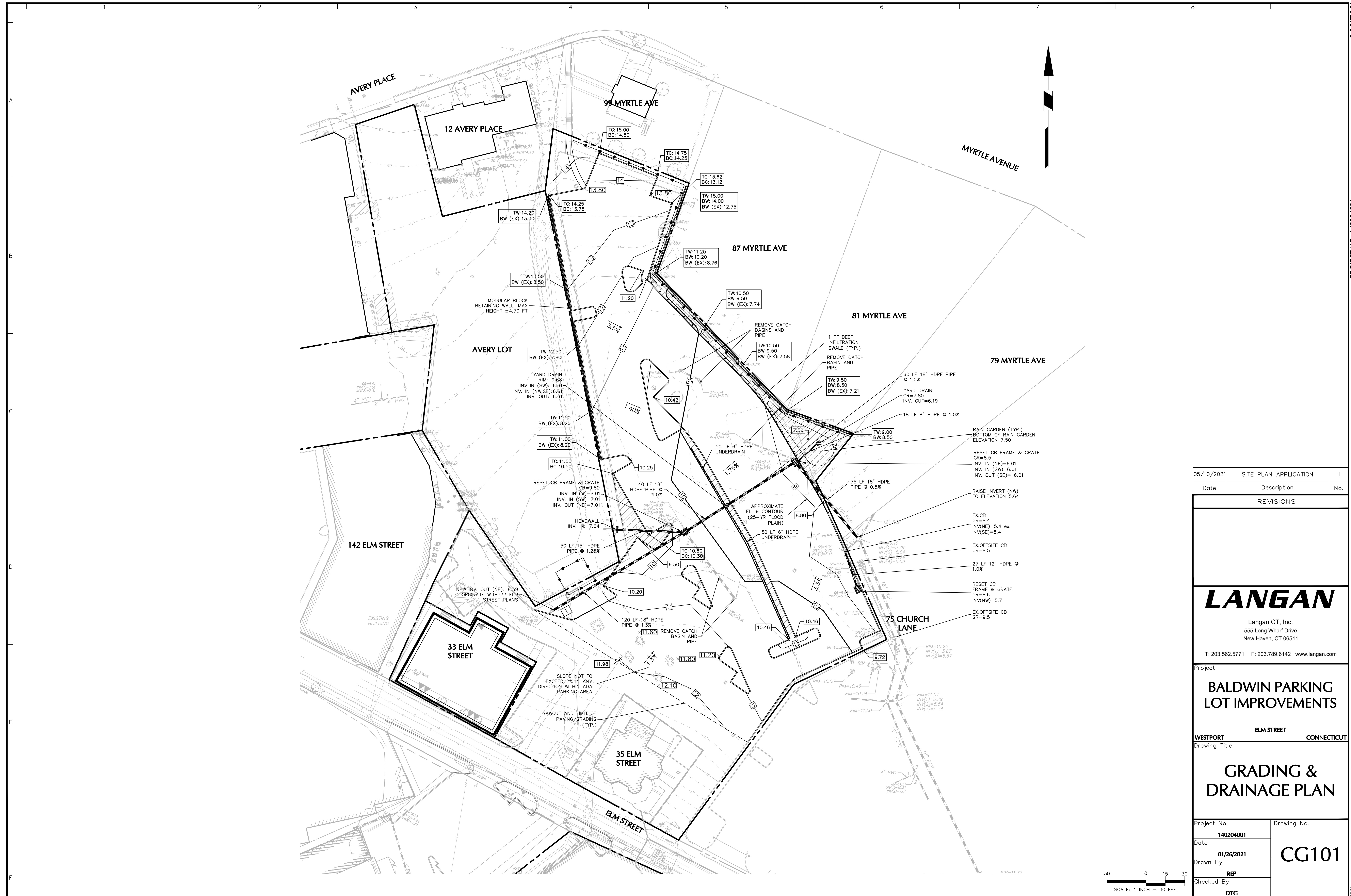
ELM STREET CONNECTICUT

WESTPORT

Drawing Title

SITE DETAILS II

Project No.	Drawing No.
140204001	CS502
Date	
01/26/2021	
Drawn By	
NCW	
Checked By	
DTC	



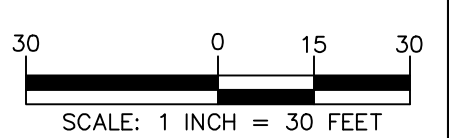
Date	Description	No.
05/10/2021	SITE PLAN APPLICATION	1

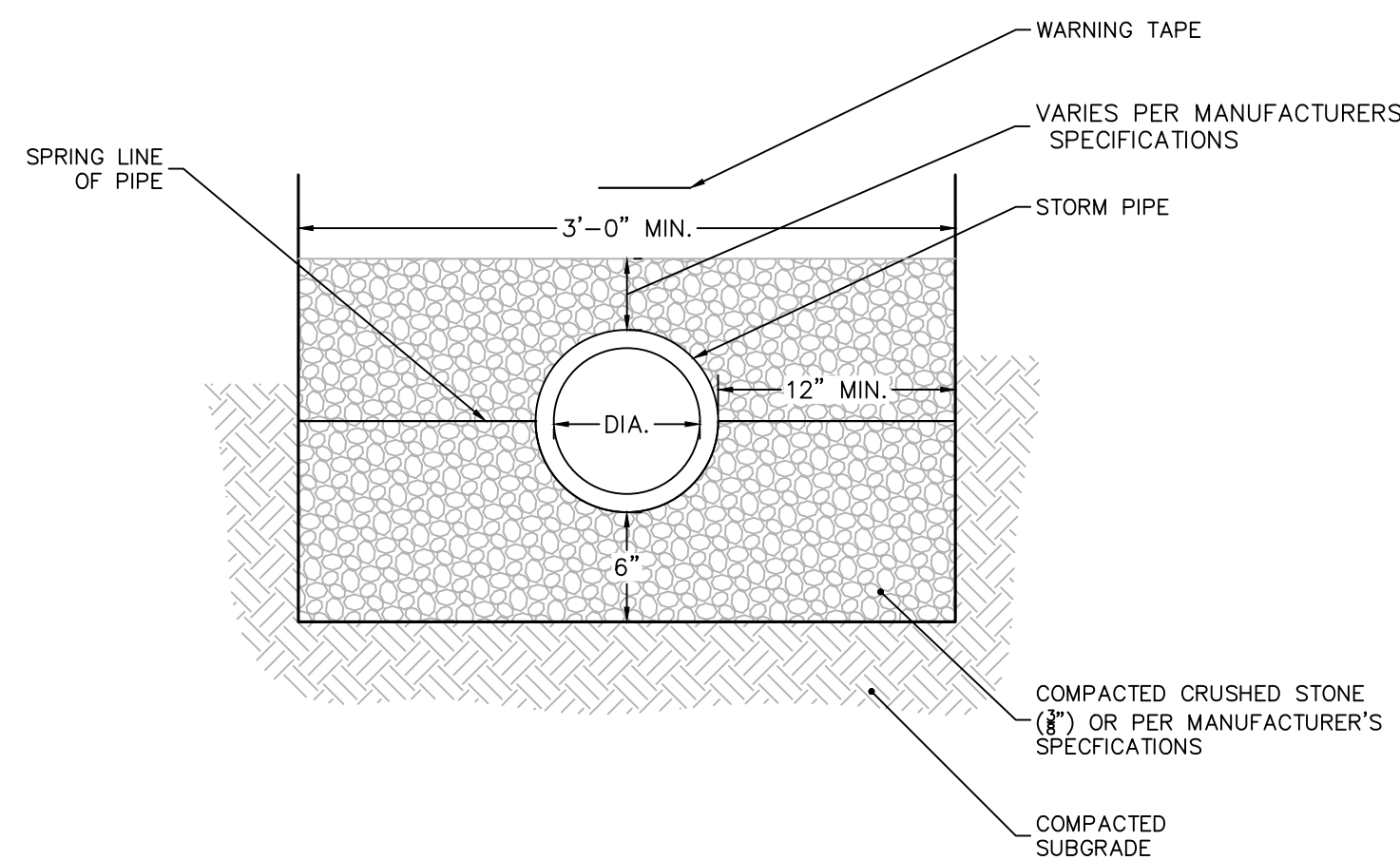
REVISIONS		
Date	Description	No.

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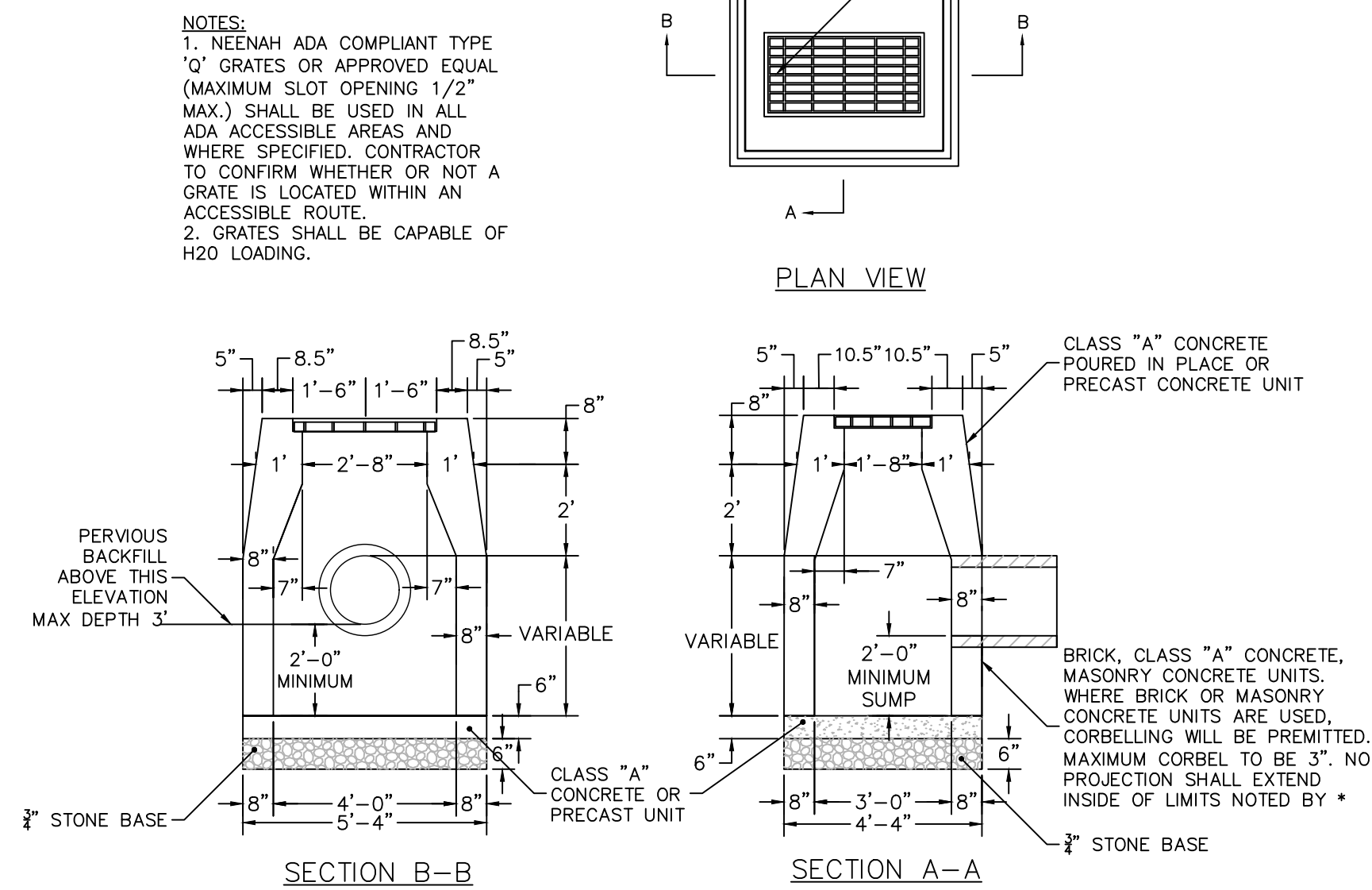
Project
BALDWIN PARKING LOT IMPROVEMENTS
 ELM STREET
 WESTPORT CONNECTICUT
 Drawing Title
GRADING & DRAINAGE PLAN

Project No. 140204001	Drawing No. CG101
Date 01/26/2021	
Drawn By REP	
Checked By DTG	

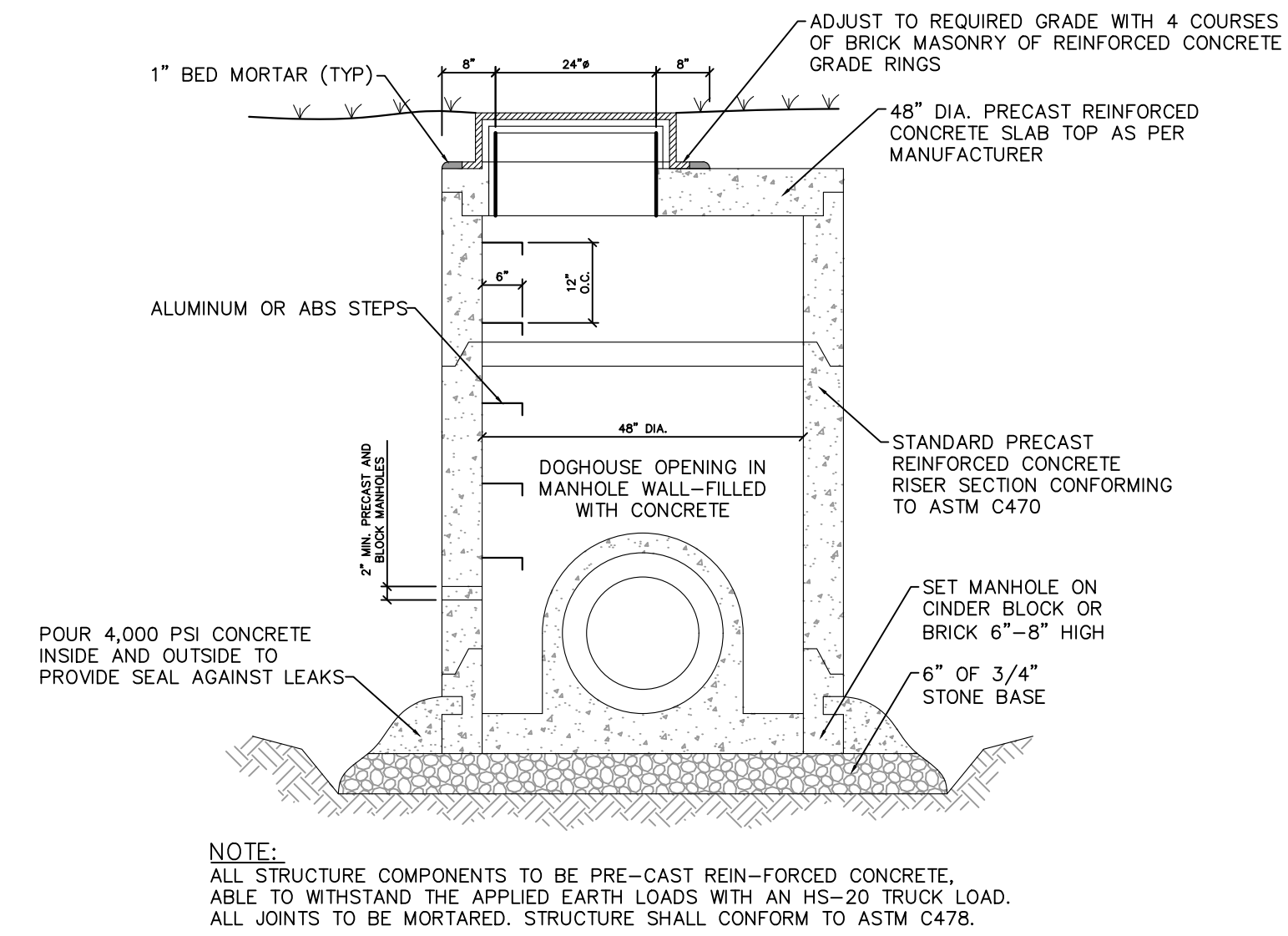




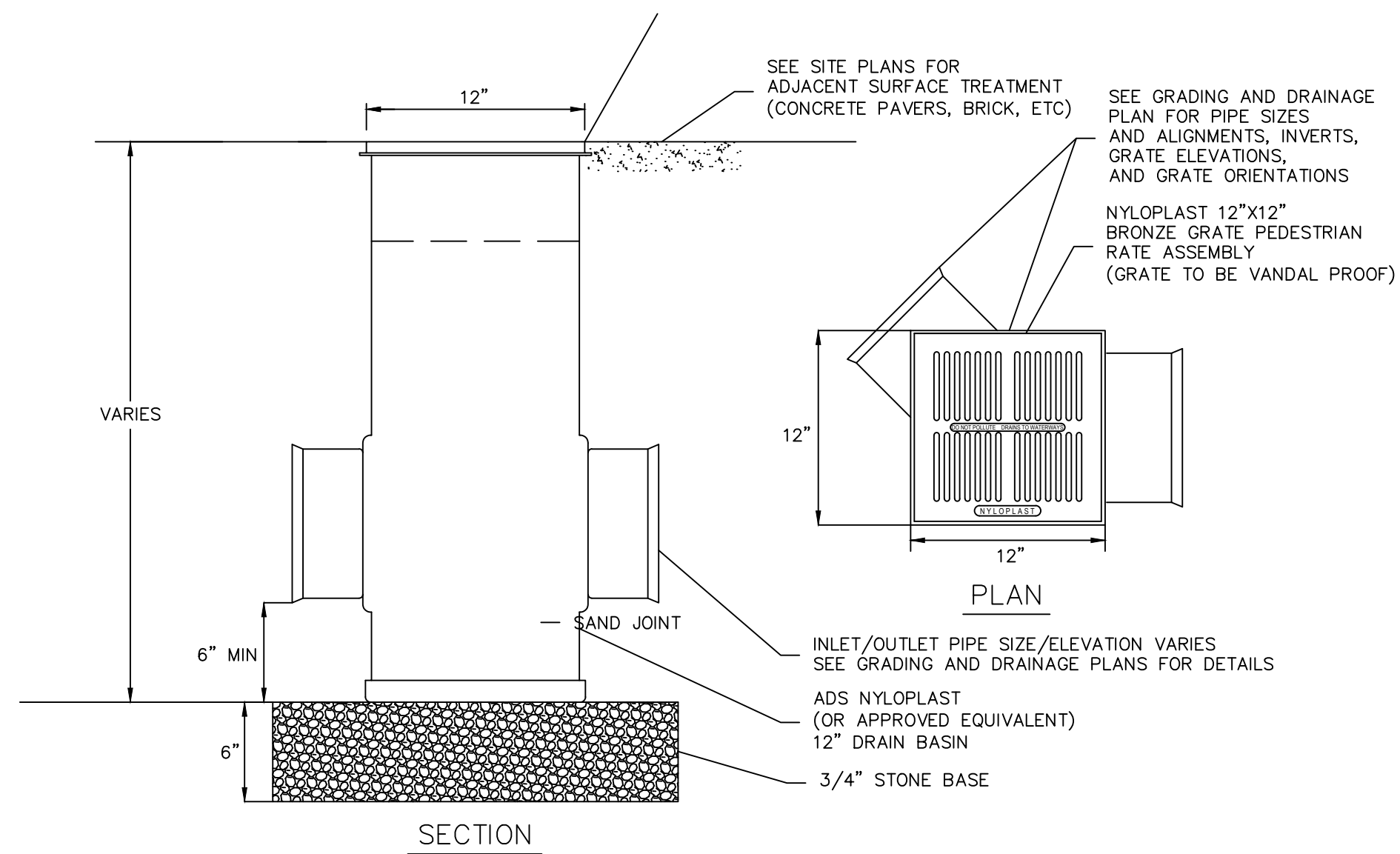
1 **STORM PIPE BEDDING**
N.T.S.



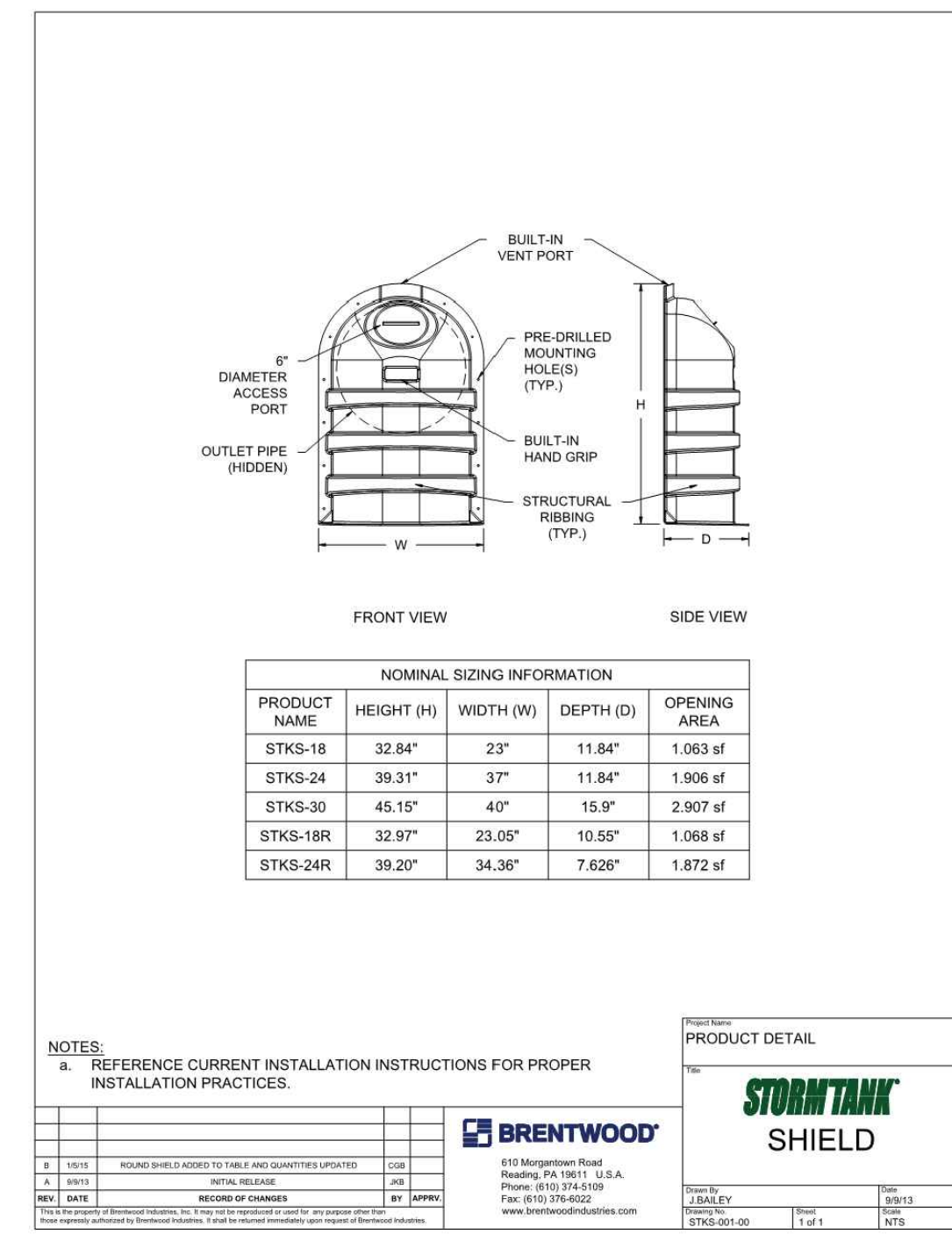
2 **TYPE CL SINGLE CATCHBASIN**
N.T.S.



3 **DOGHOUSE MANHOLE/CATCH BASIN**
N.T.S.

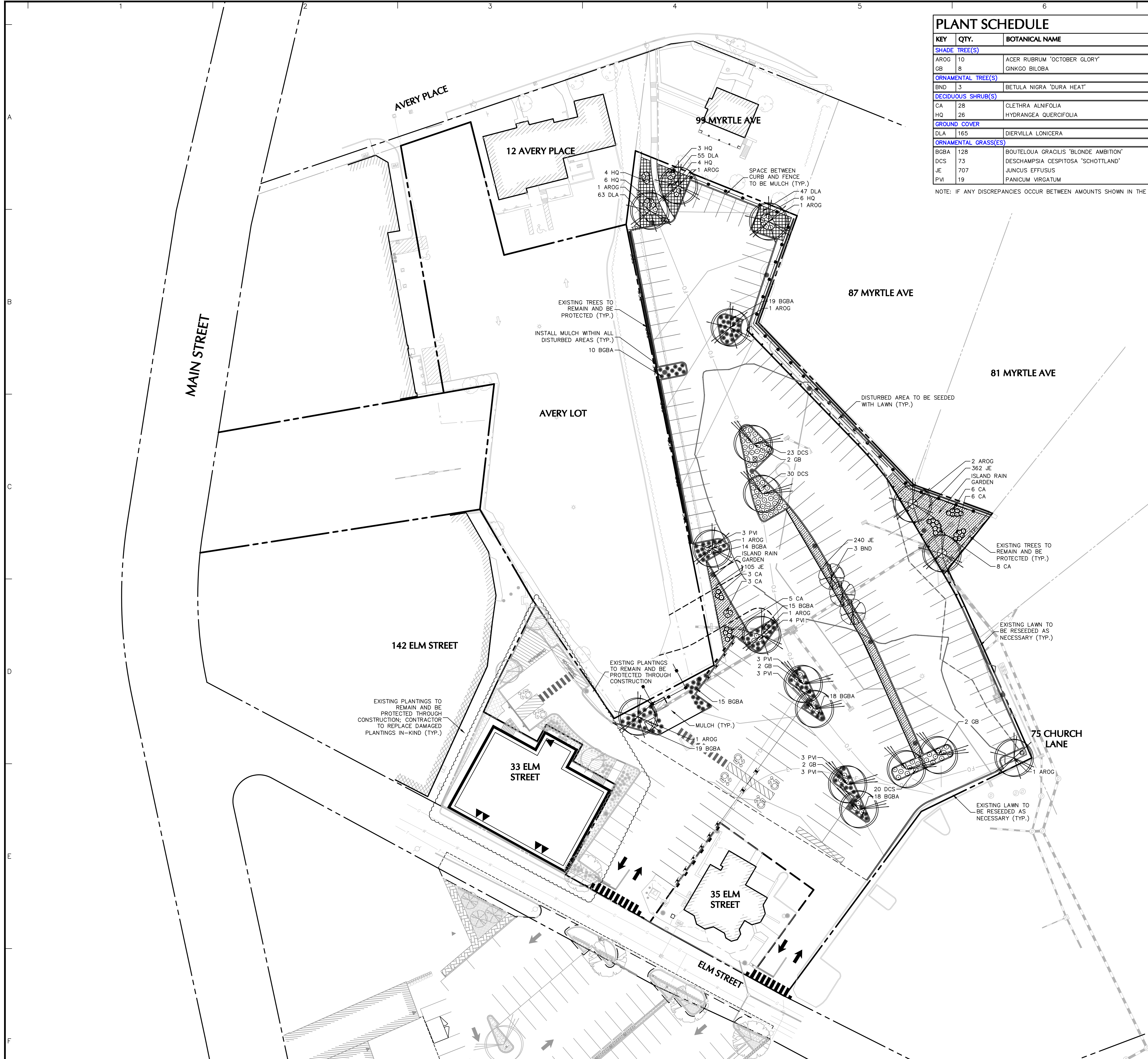


4 **AREA DRAIN**
N.T.S.



5 **STORM DRAIN OUTLET PIPE HOOD**
N.T.S.

Date	Description	No.	
REVISIONS			
LANGAN			
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Project			
BALDWIN PARKING LOT IMPROVEMENTS			
ELM STREET WESTPORT CONNECTICUT			
Drawing Title			
GRADING & DRAINAGE DETAILS			
Project No.	Drawing No.		
140204001	CG501		
Date			01/26/2021
Drawn By			NCW
Checked By	DTC		



PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AROG	10	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	4-4 1/2" CAL.	B+B	-
GB	8	GINKGO BILOBA	MAIDENHAIR TREE GINKO	4-4 1/2" CAL.	B+B	MALE SPECIES ONLY
ORNAMENTAL TREE(S)						
BND	3	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10-12'	B+B	-
DECIDUOUS SHRUB(S)						
CA	28	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	2 GAL.	CONTAINER	-
HQ	26	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	2 GAL.	CONTAINER	-
GROUND COVER						
DLA	165	DIERVILLA LONICERA	NORTHERN BUSH HONEYSUCKLE	2 GAL.	CONTAINER	spaced @ 30" o.c.
ORNAMENTAL GRASS(ES)						
BGBA	128	BOUTELOUA GRACILIS 'BLONDE AMBITION'	'BLONDE AMBITION' BLUE GRAMA GRASS	2 GAL.	CONTAINER	-
DCS	73	DESCHAMPSIA CESPITOSA 'SCHOTTLAND'	SCOTTISH TUFTED HAIR GRASS	2 GAL.	CONTAINER	-
JE	707	JUNCUS EFFUSUS	SOFT RUSH	1 GAL.	CONTAINER	spaced @ 24" o.c.
PVI	19	PANICUM VIRGATUM	SWITCH GRASS	2 GAL.	CONTAINER	-

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

ORDINANCE COMPLIANCE CHART

ORDINANCE SECTION	REQUIRED	PROPOSED	COMPLIANCE
35-2.2.2	ALL FRONT LANDSCAPE AREAS SHALL HAVE AT LEAST ONE (1) SHADE TREE FOR EACH FIFTY (50) FEET OF FRONT LENGTH (MEASURED PARALLEL TO THE STREET LINE) AND SHALL BE SETBACK AT LEAST TEN (10) FEET FROM THE STREET LINE.	TOTAL LENGTH OF LANDSCAPE AREA MEASURED PARALLEL TO THE STREET LINE = 19 FT 19/50 = .38 = 1 SHADE TREE(S) REQUIRED 1 SHADE TREE(S) PROVIDED IN EXISTING PARKING LOT ISLAND TO REMAIN	COMPLIES
35-2.2.3	SHADE TREES SHALL NOT BE PLANTED UNDER OR WITHIN FIFTEEN (15) FEET OF OVERHEAD UTILITY WIRES. ALL SHADE TREES SHALL BE AT LEAST FOUR (4) INCH CALIPER. EACH FLOWERING TREE SHALL BE TEN (10) FEET TO TWELVE (12) FEET IN HEIGHT AT TIME OF PLANTING. STREET TREES SHALL BE HIGH BRANCHED WITH AT LEAST SIX (6) FEET OF CLEARANCE FROM THE GROUND TO THE FIRST BRANCH.	PROPOSED SHADE TREES ARE AT LEAST 4" CALIPER. PROPOSED FLOWERING TREES ARE MINIMUM 10-12' HEIGHT AT TIME OF PLANTING	COMPLIES
35-2.3.2	ALL PARKING AREAS SHALL HAVE AT LEAST ONE (1) SHADE TREE FOR EACH TEN (10) REQUIRED OFF STREET PARKING SPACES.	TOTAL NUMBER OF PARKING SPACES = 173 173/10 = 17.3 = 18 SHADE TREES REQUIRED 18 SHADE TREES PROPOSED FOR PARKING AREA	COMPLIES
35-2.4.3	(RESIDENTIAL BUFFER STRIP) PLANTING SHALL CONSIST OF EVERGREEN TREES AT LEAST EIGHT (8) TO TEN (10) FEET IN HEIGHT [AND] SHALL BE PLANTED AT TEN (10) FEET ON CENTER. NON-EVERGREEN PLANTING AND/OR A SCREENING BERM, HEDGE, FENCE OR WALL AT LEAST FIVE (5) FEET IN HEIGHT AND UP TO EIGHT (8) FEET IN HEIGHT MAY BE USED IN CONJUNCTION WITH THE EVERGREEN TREES.	EIGHT FOOT HEIGHT SCREENING FENCE PROPOSED ADJACENT TO ALL RESIDENTIAL PROPERTIES.	COMPLIES TO EXTENT PRACTICABLE

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS

LANGAN

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Project

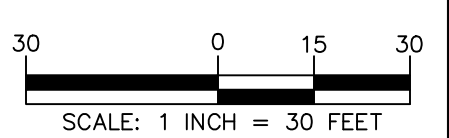
BALDWIN PARKING LOT IMPROVEMENTS

ELM STREET CONNECTICUT

Drawing Title

PLANTING PLAN

Project No.	Drawing No.
140204001	LP101
Date	
05/10/2021	
Drawn By	
AC	
Checked By	
JAMH	



PROJECT NO. 140204001

LANGAN

GENERAL LANDSCAPE PLANTING NOTES

- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- DELIVERY, STORAGE, AND HANDLING
 - PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
 - TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
 - ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
 - THE CONTRACTOR SHALL HAVE TREES DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
- THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- MULCH SHALL BE A FIBROUS DOUBLE-SHREDDED HARDWOOD AND SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
- FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
- PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
- ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.

LANDSCAPE MAINTENANCE NOTES

- MAINTENANCE OPERATIONS BEFORE APPROVAL:**
 - PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.
 - CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS AS ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
 - CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.
- MAINTENANCE DURING CONSTRUCTION:**
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.
 - IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.
 - ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY AND THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGES BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
 - PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.
 - AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.
- LAWN MAINTENANCE:**
 - BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.
 - WATER TO KEEP SURFACE SOIL MOIST, REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING; MOW TO 2 1/2 - 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT, AND MOW FREQUENTLY ENOUGH TO KEEP GRASS FROM EXCEEDING 3 1/2 INCHES. WEED BY LOCAL SPOT APPLICATION OF SELECTIVE HERBICIDE ONLY AFTER GRASS IS WELL-ESTABLISHED.

PLANTING SOIL SPECIFICATIONS

- PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
- PLANTING SOIL:**
 - REUSE SURFACE SOIL STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
 - SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT, OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
 - CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER. MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS, SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARP/PAULI UNTIL TIME OF ACTUAL USE.
 - ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
- THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:
 - PARTICLE SIZE ANALYSIS - LOAMY SAND: 60-75% SAND, 25-40% SILT, AND 5-15% CLAY.
 - FERTILITY ANALYSIS: PH (5.5-6.5), SOLUBLE SALTS (LESS THAN 2 MMHO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM.
 - ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS.
 - TOXIC SUBSTANCE ANALYSIS: 0.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS.
 - MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED.
 - NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE.
- SOIL AMENDMENT FOR PLANT MATERIAL:**
 - IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8, MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE, SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM, MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL.
 - ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-90% ORGANIC CONTENT BY WEIGHT. SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".
 - SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.
 - AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
 - GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.
 - BRING pH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-ERICACEOUS PLANTS
 - BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS
 - TERRA-SORB BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS.
 - MYCOTE-ROOT SAVER BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.

- WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
- CLEAN SOIL FILL IN LANDSCAPE AREAS:**
 - LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7.
- SOIL PLACEMENT:**
 - CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
 - SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL. AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12-18" BEDS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
 - PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
- SOIL CONDITIONING:**
 - ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER PH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 88% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 60% PASSING 100 MESH SIEVE.
 - ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):**
 - THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

LAWN SEED MIX:

- LAWN SEED MIX** LESCO GRASS SEED - ALL PRO TRANSITION MIX (3 TURF-TYPE TALL-FESCUE GRASSES)

- NOTES:
- SEED RATE:
 - NEW ESTABLISHMENT: SEED AT A RATE OF 6-8 LBS./ 1000 SQ FT
 - RENOVATION: 20-50% EXISTING COVER: 5-7 LBS./ 1000 SQ FT
50-75% EXISTING COVER: 4-6 LBS./ 1000 SQ FT

GENERAL SEEDING NOTES:

- FINAL SEED MIXTURES, RATES & SPECIES TO BE DETERMINED BASED ON PROJECT LANDSCAPE ARCHITECT REVIEW.
- SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 15) OR THE FALL (SEPTEMBER 1 TO OCTOBER 15).
- ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A GLYPHOSATE-BASED HERBICIDE PER MANUFACTURER'S SPECIFICATIONS.
- IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRAX-TYPE DRILL SEEDER WHERE APPLICABLE.
- THERE MUST BE CONTINUOUS SOIL MOISTURE FOR 4-6 WEEKS TO ALLOW PROPER GERMINATION.

LAWN WATERING SCHEDULE

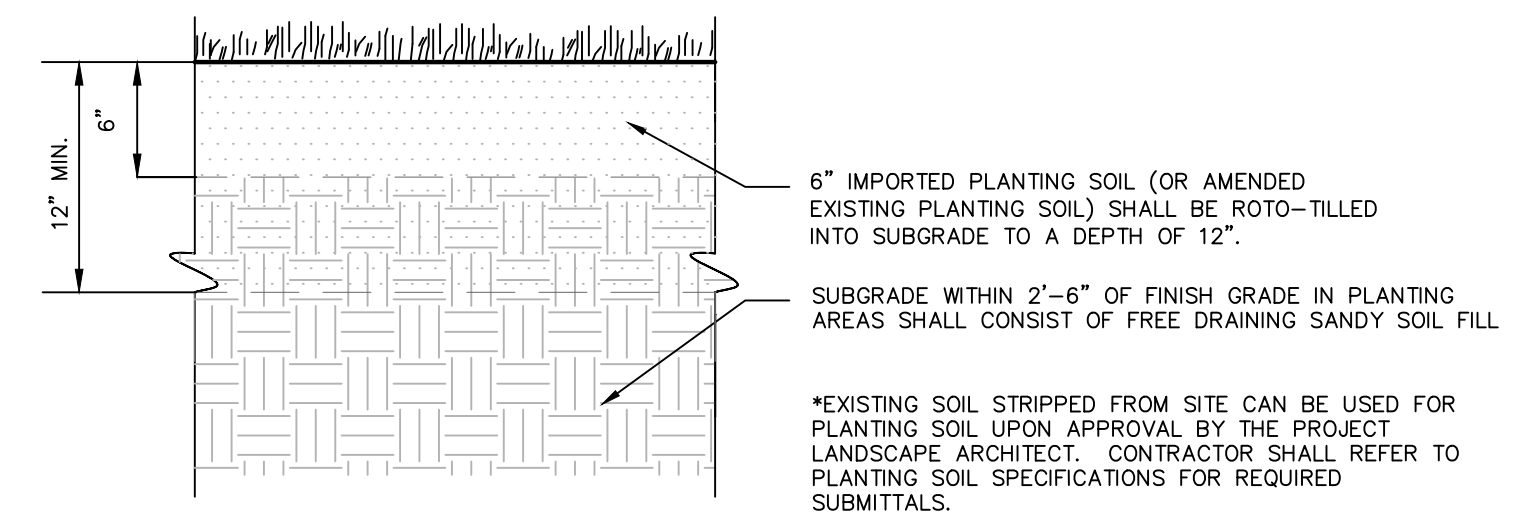
THE FOLLOWING WATERING SCHEDULE COVERS ROUGHLY 8 WEEKS TO ESTABLISH A HEALTHY STAND OF GRASS FROM SEED. THE CONTRACTOR SHALL BE OBLIGATED TO ENSURE A HEALTHY STAND OF GRASS AT THE END OF THE MAINTENANCE/BOND PERIOD, ANY BARE OR DEAD AREAS IN THE LAWN SHALL BE PREPARED, RESEEDED AND REESTABLISHED PRIOR TO THE END OF THE MAINTENANCE/BOND PERIOD AND TO THE SATISFACTION OF THE PROJECT LANDSCAPE ARCHITECT AND THE OWNER.

IMPORTANT ASPECTS TO ATTAINING AND SUSTAINING A HEALTHY STAND OF GRASS ARE THE INSTALLATION OF TOPSOIL, SEED BED PREPARATION, ATTAINING OPTIMAL PH FOR THE INTENDED PLANT SPECIES, FERTILIZING, MULCH COVERING, AND SUFFICIENT WATERING PER THESE NOTES AND/OR PROJECT SPECIFICATIONS.

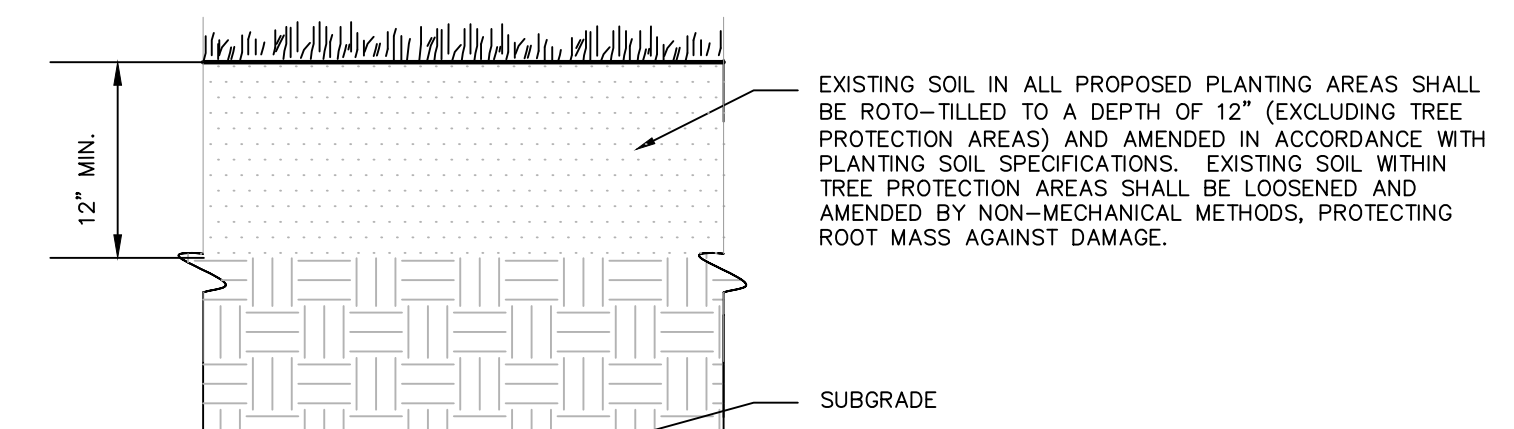
- SEEDING SHALL BE DONE DURING THE SEASONS SPECIFIED IN THE LAWN SEED MIX NOTES AND/OR PROJECT SPECIFICATIONS.
- AFTER THE SEEDBED IS PREPARED, SEED IS INSTALLED, AND MULCH IS APPLIED, WATER LIGHTLY TO KEEP THE TOP 2 INCHES OF SOIL CONSISTENTLY MOIST, NOT SATURATED. AT NO TIME SHOULD WATER BE APPLIED TO THE POINT OF RUNOFF OR THE DISPLACEMENT OF SEED.
- DEPENDING ON SOIL TEMPERATURES, IT MAY TAKE SEVERAL WEEKS FOR GERMINATION TO OCCUR. DIFFERENT SPECIES WITHIN THE MIX GERMINATE AT DIFFERENT TIMES AND THEREFORE CONTRACTOR SHOULD CONTINUE THE LIGHT WATERING, AS DESCRIBED ABOVE, UNTIL THERE IS AT LEAST 2 INCHES OF GROWTH THROUGHOUT.
- AT THIS POINT, WATERING FREQUENCY MAY BE REDUCED TO EVERY 3 TO 5 DAYS. WATER SHALL BE APPLIED TO WET A 6 INCH MINIMUM SOIL DEPTH TO PROMOTE HEALTHY DEEP ROOTS.
- BEGIN MOWING ONCE PER WEEK AFTER THE GRASS HAS REACHED 3 INCHES HEIGHT. MOW TO A HEIGHT OF NO LESS THAN 2-1/2 INCHES. AFTER 2 TO 3 WEEKS OF MOWING, CONTINUE TO WATER TO A 6 INCH MINIMUM SOIL DEPTH AS NECESSARY PER WEATHER CONDITIONS, AND SOIL MOISTURE SENSORS IF APPLICABLE.

GENERAL NOTE:

DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.



PLANTING SOIL WITHIN AREAS OF CUT OR RAISED GRADE



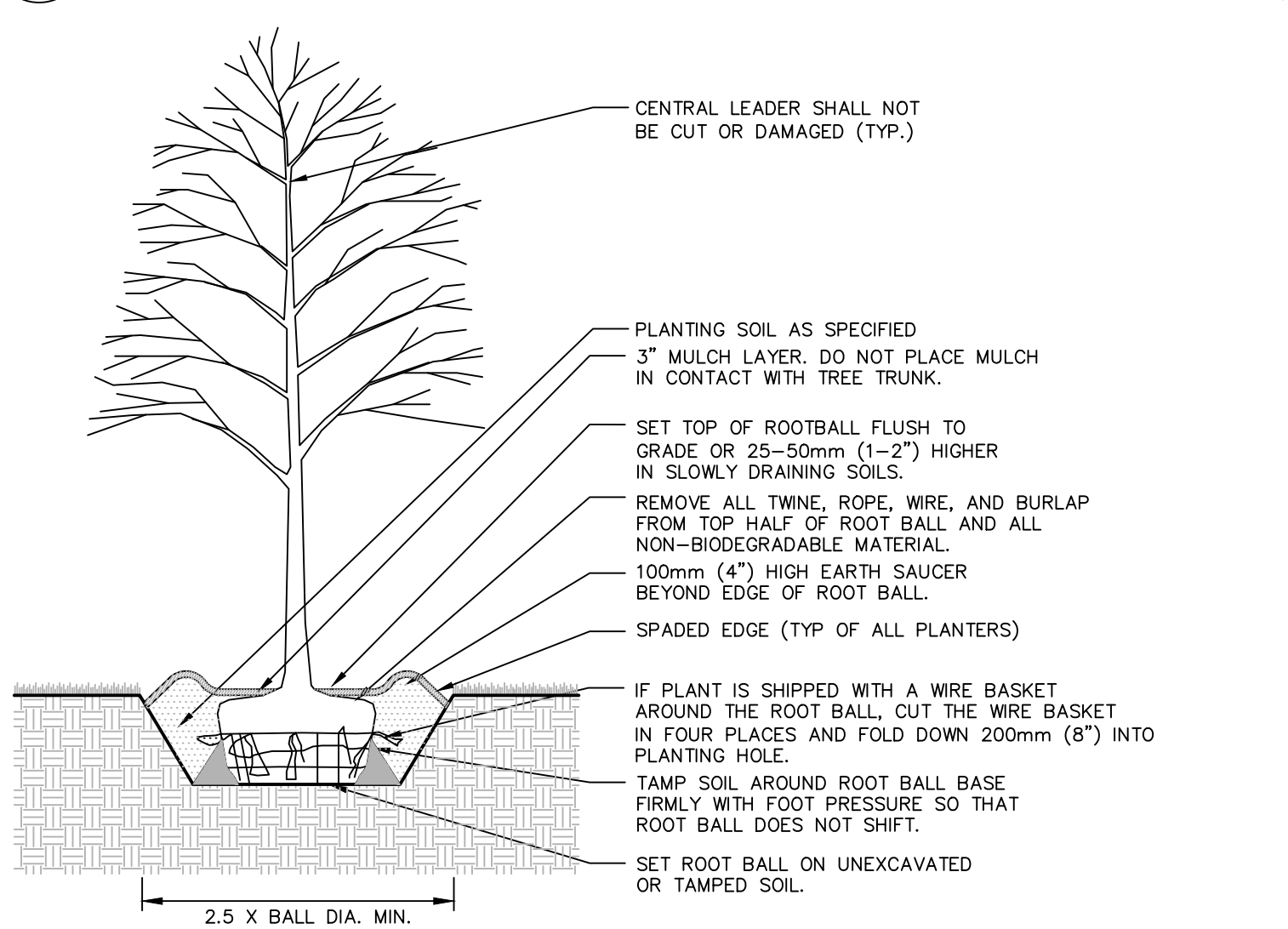
PLANTING SOIL WITHIN AREAS OF UNCHANGED GRADE

NOTES:

- CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
- RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE USED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
- IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCEEDENCE OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
- CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.).
- NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

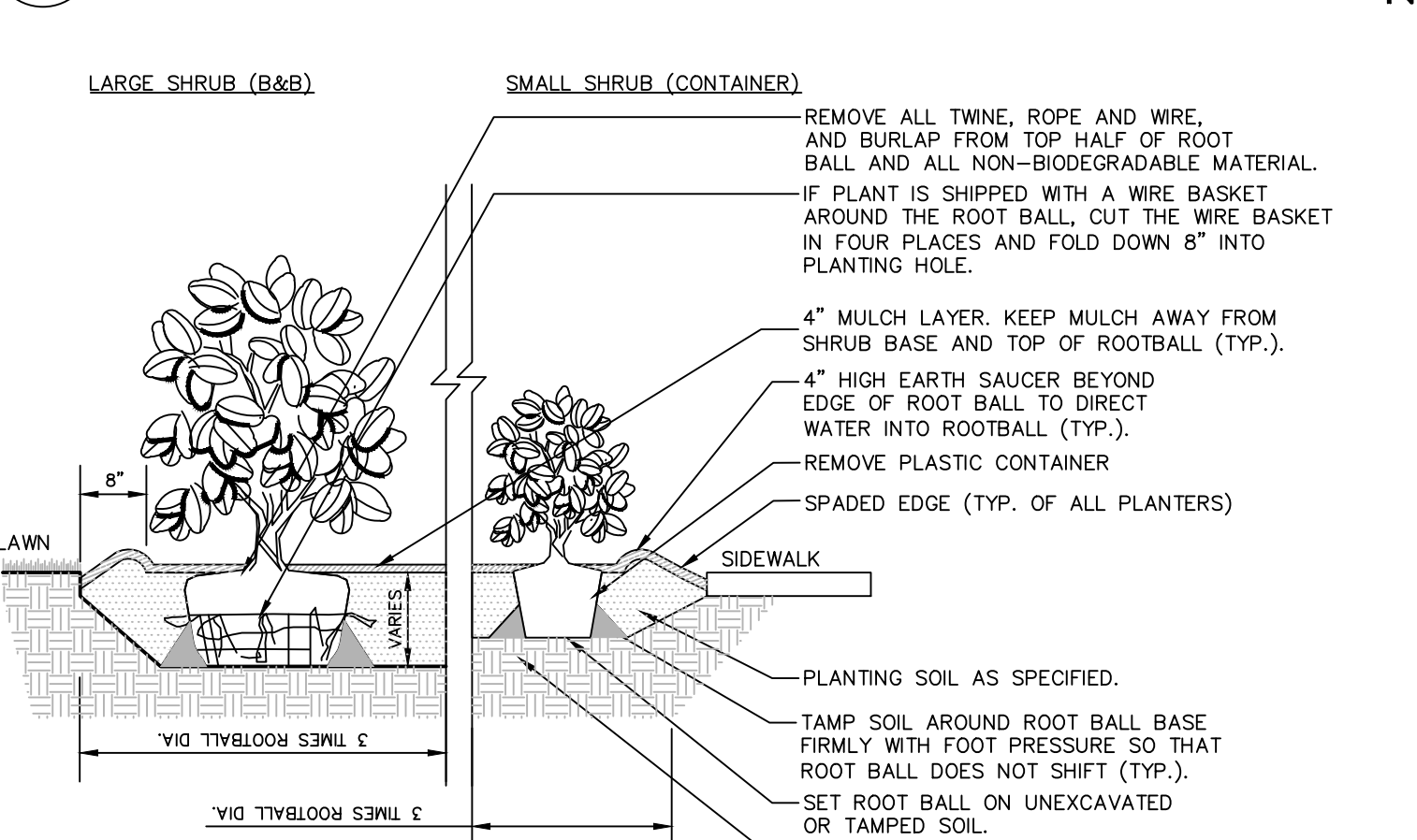
1 PLANTING SOIL

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2 DECIDUOUS TREE PLANTING

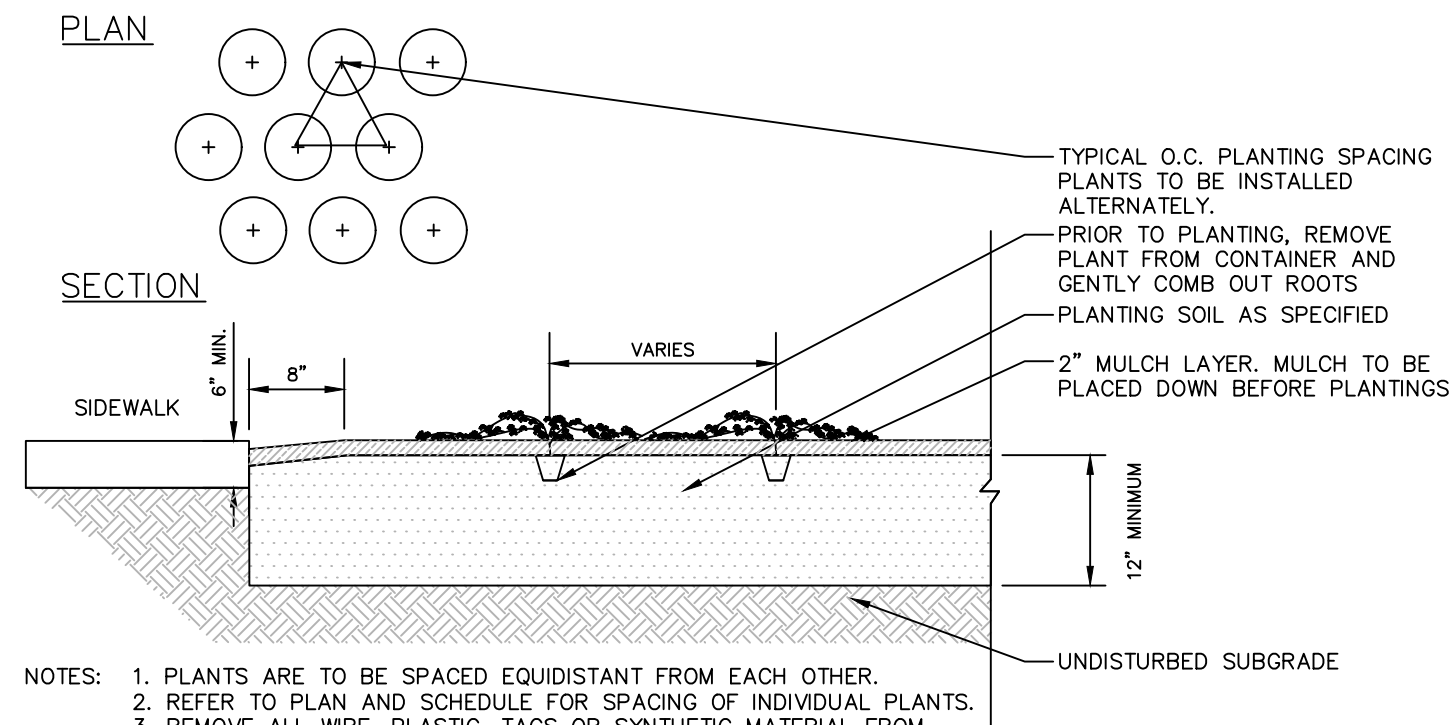
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- NOTES:
- ALL SHRUBS TO BE SET PLUMB.
 - REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS.
 - REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

3 SHRUB PLANTING

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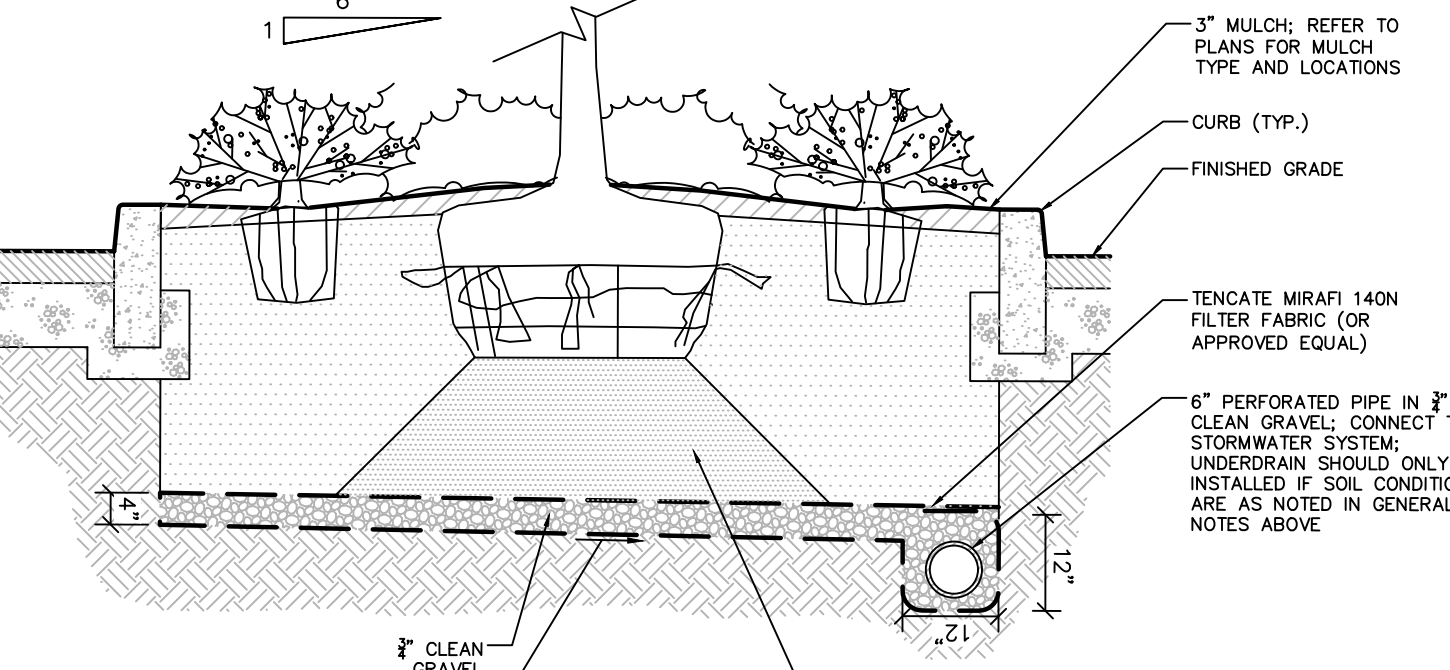


4 GROUNDCOVER/PERENNIAL PLANTING

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GENERAL NOTE:

- PRIOR TO INSTALLATION OF CURBS, PAVEMENT, AND PLACEMENT OF PLANTING SOILS, CONTRACTOR SHALL EVALUATE DRAINAGE OF SUBSOILS WITHIN PARKING ISLANDS AND ADD UNDERDRAINS CONNECTED TO THE STORMWATER SYSTEM AS REQUIRED PER BELOW DETAIL.
- DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN ISLANDS TEND TO BECOME HIGHLY COMPACTED AND CAN PREVENT DRAINAGE. THIS CONDITION CREATES A SATURATED SOIL THAT CAN CAUSE ROOT ROT THAT CAN BE DETRIMENTAL TO TREE HEALTH. IF SUBGRADE SOILS ARE NOT VISIBLY DRAINING, CONTRACTOR SHALL PERFORM REPRESENTATIVE PERCOLATION TESTS (MINIMUM ONE PER TEN ISLANDS) TO VERIFY DRAINAGE RATES IN INCHES PER HOUR. PERCOLATION TESTS SHOULD BE IN ACCORDANCE WITH THE MOST CURRENT LOCAL APPLICABLE STORMWATER MANUAL AND DEEP REQUIREMENTS. IN ISLANDS WHERE SUBSOILS ARE DRAINING LESS THAN 1" PER HOUR, CONTRACTOR IS REQUIRED TO INSTALL UNDERDRAINS PER BELOW DETAIL.



- NOTES:
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS. WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED, CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO COMPLETION OF STORMWATER SYSTEM, PAVEMENT INSTALLATION, AND PLACEMENT OF PLANTING SOILS.
 - ISLAND AREAS TO BE FREE OF DEBRIS AND RUBBLE PRIOR TO PLANTING OPERATION.
 - MOUND PARKING ISLAND AS SHOWN.

5 PARKING ISLAND PLANTING

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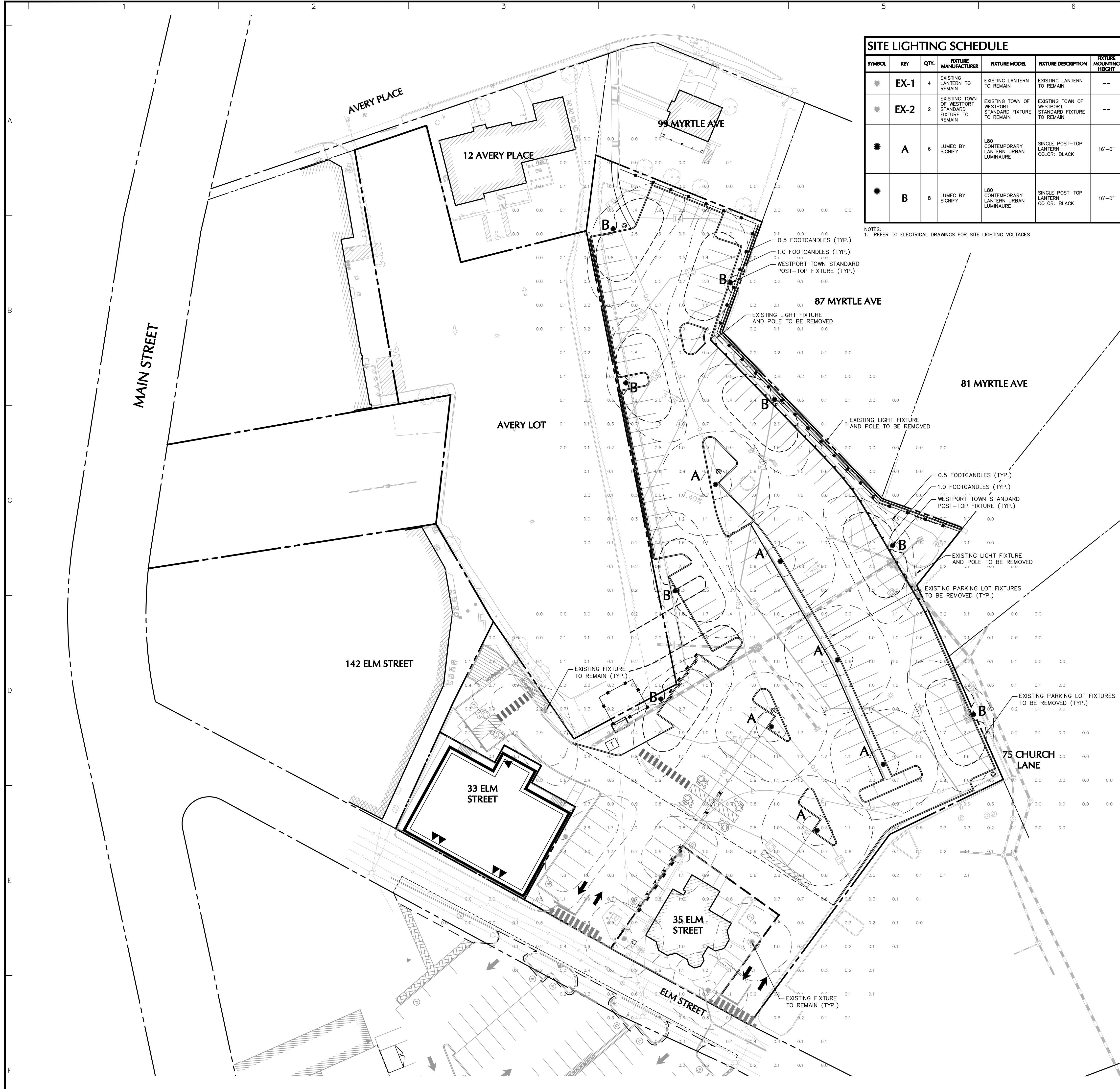
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SITE LIGHTING SCHEDULE																		
SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	COLOR TEMPERATURE	OPTICS	LUMENS	LLF	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.	REMARKS
●	EX-1	4	EXISTING LANTERN TO REMAIN	EXISTING LANTERN TO REMAIN	EXISTING LANTERN TO REMAIN	--	--	--	--	--	--	--	--	--	--	--	--	EXISTING LANTERN TO REMAIN
●	EX-2	2	EXISTING TOWN OF WESTPORT STANDARD FIXTURE TO REMAIN	EXISTING TOWN OF WESTPORT STANDARD FIXTURE TO REMAIN	EXISTING TOWN OF WESTPORT STANDARD FIXTURE TO REMAIN	--	--	--	--	--	--	--	--	--	--	--	--	EXISTING TOWN OF WESTPORT STANDARD FIXTURE TO REMAIN
●	A	6	LUMEC BY SIGNIFY	L80 CONTEMPORARY LANTERN URBAN LUMINAURE	SINGLE POST-TOP LANTERN COLOR: BLACK	16'-0"	81W LED	4000K	TYPE V	6,148	0.90	L80-B0W-4BLED4K-T-PC-CS-LE3-LRPS1291M)IES	L80-B0W4BLED4K-T-PC-CS-LE3-VOLTS-DMG-SF80-BKTX	LUMEC BY SIGNIFY	4" ROUND STRAIGHT ALUMINUM POLE WITH GFI @ 11'-0" FROM BASE; ROUND BASE COVER; COLOR: BLACK	14'-0"	APRAU-14-GFI-B104-BKTX	POLE TO BE MOUNTED ON 2' HEIGHT EXPOSED CONCRETE BASE; COORDINATE CONDUIT AND ADDITIONAL ACCESSORIES FOR SECURITY CAMERAS WITH TOWN; FIXTURE TO MATCH CURRENT TOWN STANDARD
●	B	8	LUMEC BY SIGNIFY	L80 CONTEMPORARY LANTERN URBAN LUMINAURE	SINGLE POST-TOP LANTERN COLOR: BLACK	16'-0"	81W LED	4000K	TYPE III WITH HOUSE SIDE SHIELD	6,044	0.90	L80-B0W-4BLED4K-T-PC-CS-LE3-LRPS1291EM)IES	L80-B0W4BLED4K-T-PC-CS-LE3-VOLTS-DMG-SF80-HS-BKTX	LUMEC BY SIGNIFY	4" ROUND STRAIGHT ALUMINUM POLE WITH GFI @ 11'-0" FROM BASE; ROUND BASE COVER; COLOR: BLACK	14'-0"	APRAU-14-GFI-B104-BKTX	POLE TO BE MOUNTED ON 2' HEIGHT EXPOSED CONCRETE BASE; COORDINATE CONDUIT AND ADDITIONAL ACCESSORIES FOR SECURITY CAMERAS WITH TOWN; FIXTURE TO MATCH CURRENT TOWN STANDARD

NOTES:
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES

STATISTICS				
DESCRIPTION	AVG.	MAX.	MIN.	MAX:MIN
BALDWIN LOT	1.1fc	3.0fc	0.5fc	6.0:1

NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT PARKING LOT LIGHTING TO REMAIN ARE INCLUDED IN THE ABOVE STATISTICS.

05/10/2021	SITE PLAN APPLICATION	1
Date	Description	No.

REVISIONS

Date	Description	No.

LANGAN

Langan CT, Inc.
555 Long Wharf Drive
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project
BALDWIN PARKING LOT IMPROVEMENTS

ELM STREET CONNECTICUT

Drawing Title
SITE LIGHTING PLAN

Project No. 140204001	Drawing No. LL101
Date 05/10/2021	
Drawn By JA	
Checked By MH	



